

UofT Robarts 5th Floor MDL

INTERIOR RENOVATION

UT PROJECT NO. P006-22-176



CLIENT		PROJECT ADDRESS			
UNIVERSITY OF TORONTO		ROBARTS LIBRARY			
255 MCCAUL STREET, 5TH FLOOR TORONTO, ONTARIO M5T 1W7		130 ST GEORGE STREET, TORONTO, ONTARIO M5S 1A5			
CONSULTANTS					
ARCHITECT SUPERKUL INC. 101- 35 GOLDEN AVENUE TORONTO, ON M6R 2J5 (T) 416.596.0700		STRUCTURAL ENGINEER ENTUITIVE 200 University Avenue, 7th Floor, Toronto ON M5H 3C6, Canada (416) 270-9140		MECHANICAL, ELECTRICAL & AV ENGINEER SMITH + ANDERSEN 1100 – 100 Sheppard Ave. East, TORONTO M2N 6N5, Canada (647) 258-7125	
		NOISE & VIBRATION AERCOUSTICS 1004 Middlegate Rd Suite 1100, Mississauga, ON L4Y 0G1, Canada(T) (416) 700-7471		CODE CONSULTANT JENSEN HUGHES 2150 Islington Avenue - Suite 100, Toronto ON M9P 3V4, Canada (647) 559-1261	
				COST CONSULTANT MARSHALL & MURRAY INC 120 Carlton St, Suite 413, Toronto ON M5A 4K2, Canada (416) 928-1993	

ISSUED FOR CONSTRUCTION - JANUARY 27, 2025

DRAWING NUMBER	DRAWING TITLE										
		239907 - SD COSTING	231122 - DD COSTING	240025 - 80% CD COSTING	248806 - 100% CD	248816- BUILDING PERMIT	248927 - ISSUED FOR TENDER	241027-ISSUED FOR ADDENDUM A-02	241013-ISSUED FOR CONSTRUCTION	250127 - ISSUED FOR A-001	250127 - RE-ISSUED FOR CONSTRUCTION
A 000	Cover Sheet & Drawing List	✓	✓	✓	✓	✓	✓		✓		✓
A 005	OBC Matrix & Code Compliance Data		✓	✓	✓	✓	✓		✓		✓
A 010	General Notes, Abbreviations, Symbols & Legends	✓	✓	✓	✓	✓	✓		✓		✓
A 020	Assembly Types, Material Legend, Interior Screen & Door Schedule	✓	✓	✓	✓	✓	✓	✓	✓		✓
A 060	L05 Demolition Floor Plan	✓	✓	✓	✓	✓	✓		✓		✓
A 061	L05 Demolition Reflected Ceiling Plan	✓	✓	✓	✓	✓	✓		✓		✓
A 062	L05 Temporary Hoarding Plan	✓	✓	✓	✓	✓	✓		✓		✓
A 063	L05 Temporary Hoarding Reflected Ceiling Plan	✓	✓	✓	✓	✓	✓		✓		✓
A 101	L05 Floor Plan	✓	✓	✓	✓	✓	✓		✓	✓	✓
A 102	L05 Finish Floor Plan	✓	✓	✓	✓	✓	✓		✓		✓
A 103	L05 Furniture Floor Plan			✓	✓	✓	✓		✓	✓	✓
A 104	L05 Power Plan		✓	✓	✓	✓	✓	✓	✓		✓
A 601	L05 Reflected Ceiling Plan	✓	✓	✓	✓	✓	✓		✓		✓
A 700	Enlarged Drawings	✓	✓	✓	✓	✓	✓		✓		✓
A 800	Interior Elevations		✓	✓	✓	✓	✓		✓		✓
A 850	Section Details			✓	✓	✓	✓	✓	✓		✓
A 860	Plan Details			✓	✓	✓	✓	✓	✓		✓
A 901	Millwork Drawings - M001A+B, M002A+B, M010		✓	✓	✓	✓	✓	✓	✓		✓
A 902	Millwork Drawings - M003, M004, M007A-D		✓	✓	✓	✓	✓		✓		✓
A 903	Millwork Drawings - M005, M006, M008, M009, M011		✓	✓	✓	✓	✓	✓	✓		✓
A 910	Typical Millwork Details			✓	✓	✓	✓		✓		✓

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Prior to commencement of the Work the Contractor shall verify all drawing dimensions, datums, and levels with the Contract Documents and with the conditions on site, ascertain any discrepancies between the site and the Contract Documents, and bring these items to the attention of the Architect for clarification.

superkul

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8	20250127	RE-ISSUED FOR CONSTRUCTION
7	20241203	ISSUED FOR CONSTRUCTION
6	20240927	ISSUED FOR TENDER
5	20240816	ISSUED FOR BUILDING PERMIT
4	20240806	ISSUED FOR 100% CD
3	20240429	ISSUED FOR 80% CD COSTING
2	20231213	ISSUED FOR DD CLIENT REVIEW
1	20231122	ISSUED FOR DD COSTING & REVIEW

No.	Date	Issue/Revision

Robarts 5th Floor
Renovation

Title:
Cover Sheet & Drawing
List

Project No. 2322 Scale
Drawing No.

A 000

OAA - BUILDING CODE DATA MATRIX

Issued: 2023.12.08

PART 11 - RENOVATION

OBC REFERENCE ⁽¹⁾

Name of Practice	Superkul Inc.		
Address 1	101-35 Golden Avenue		
Address 2	Toronto, ON, M6R 2J5		
Contact	William Elsworth		
Name of Project	Robarts MDL - Fifth Floor Renovation		
Location/Address	130 St. George St., Toronto, ON, M5S 1A5		
Date	Seal & Signature		



11.00 BUILDING CODE VERSION	O.Reg. 332/12	LAST CODE AMENDMENT		O.Reg. 89/23
11.01 PROJECT TYPE	Renovation		[A] 1.1.2.6	
11.02 MAJOR OCCUPANCY CLASSIFICATION	OCCUPANCY	USE		3.1.2.1.(1), 11.2.1
	A2	Other assembly occupancies		Study Space and Classrooms
	-	-		-
	-	-		-
11.03 SUPERIMPOSED MAJOR OCCUPANCIES	NO		11.2 and 3.2.2.5 to 3.2.2.8	
11.04 BUILDING AREA (m²)	DESCRIPTION	EXISTING	NEW	TOTAL [A] 1.4.1.2, 11.2 and 11.3
	5th Floor Renovated Area	2362.90	0.00	2,362.9
		-	-	-
	TOTAL	2,362.9	-	2,362.9
11.05 BUILDING HEIGHT	14	STOREYS ABOVE GRADE	54.8	(m) ABOVE GRADE [A] 1.4.1.2 & 3.2.1.1, 11.3
	2	STOREYS BELOW GRADE		3.2.1.0 & 3.2.5, 11.3
11.06 NUMBER OF STREETS/ FIRE FIGHTER ACCESS	3 STREETS(S)		T.11.2.1.1.B-N	
11.07 BUILDING SIZE	LARGE		T.11.2.1.1.B-N	
11.08 EXISTING BUILDING CLASSIFICATION	CHANGE IN MAJOR OCCUPANCY	NO		11.2.1.1
	CONSTRUCTION INDEX	NOT APPLICABLE		T.11.2.1.1.A
	HAZARD INDEX	NOT APPLICABLE		T.11.2.1.1.B-N
	IMPORTANCE CATEGORY	-		4.2.1.(3), and 5.2.2.1.(2)
11.09 RENOVATION TYPE	BASIC RENOVATION		11.3.3.1, and 11.3.3.2	
11.10 OCCUPANT LOAD	FLOOR LEVEL/AREA	OCCUPANCY TYPE	BASED ON	OCCUPANT LOAD (PERSONS) 3.1.17, 11.4.2.2
	5th Floor	A2	Design of space	427
		-	-	-
	TOTAL			427

11.11 PLUMBING FIXTURE REQUIREMENTS	RATIO:	MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE		
		3.7.4, 11.3.4, 11.3.5, 11.4.2.4 and 11.4.2.5		
a	FLOOR LEVEL/AREA	OCCUPANT LOAD	OBC REFERENCE	WCs REQUIRED WCs PROVIDED
	5th Floor (F)	213.50	3.7.4.3.(15)	3.00 3.00
	5th Floor (M)	213.50	3.7.4.3.(15)	3.00 5.00

11.11 PLUMBING FIXTURE REQUIREMENTS continued	FLOOR LEVEL/AREA (repeated)	BARRIER-FREE WCs REQUIRED	BARRIER-FREE WCs PROVIDED	UNIVERSAL WASHROOMS REQUIRED	UNIVERSAL WASHROOMS PROVIDED
b	5th Floor (F)	1.00		1	
	5th Floor (M)	1.00		1	

11.12 BARRIER-FREE DESIGN	Yes	11.3.3.2.(2)		
BARRIER-FREE ENTRANCES	1	Existing Barrier-Free Entrance located off of St George Street		

11.13 REDUCTION IN PERFORMANCE LEVEL	STRUCTURAL	NO	11.4.2.1.
	[Provide a brief description here or hide this row if not needed.]		
	INCREASE IN OCCUPANT LOAD	NO	11.4.2.2.
	[Provide a brief description here or hide this row if not needed.]		
	CHANGE OF MAJOR OCCUPANCY	NO	11.4.2.3.
	[Provide a brief description here or hide this row if not needed.]		
	PLUMBING	NO	11.4.2.4.
	[Provide a brief description here or hide this row if not needed.]		
	SEWAGE SYSTEM	NO	11.4.2.5.
	[Provide a brief description here or hide this row if not needed.]		
	EXTENSION OF BUILDINGS OF COMBUSTIBLE CONSTRUCTION	NO	11.4.2.6.
	[Provide a brief description here or hide this row if not needed.]		

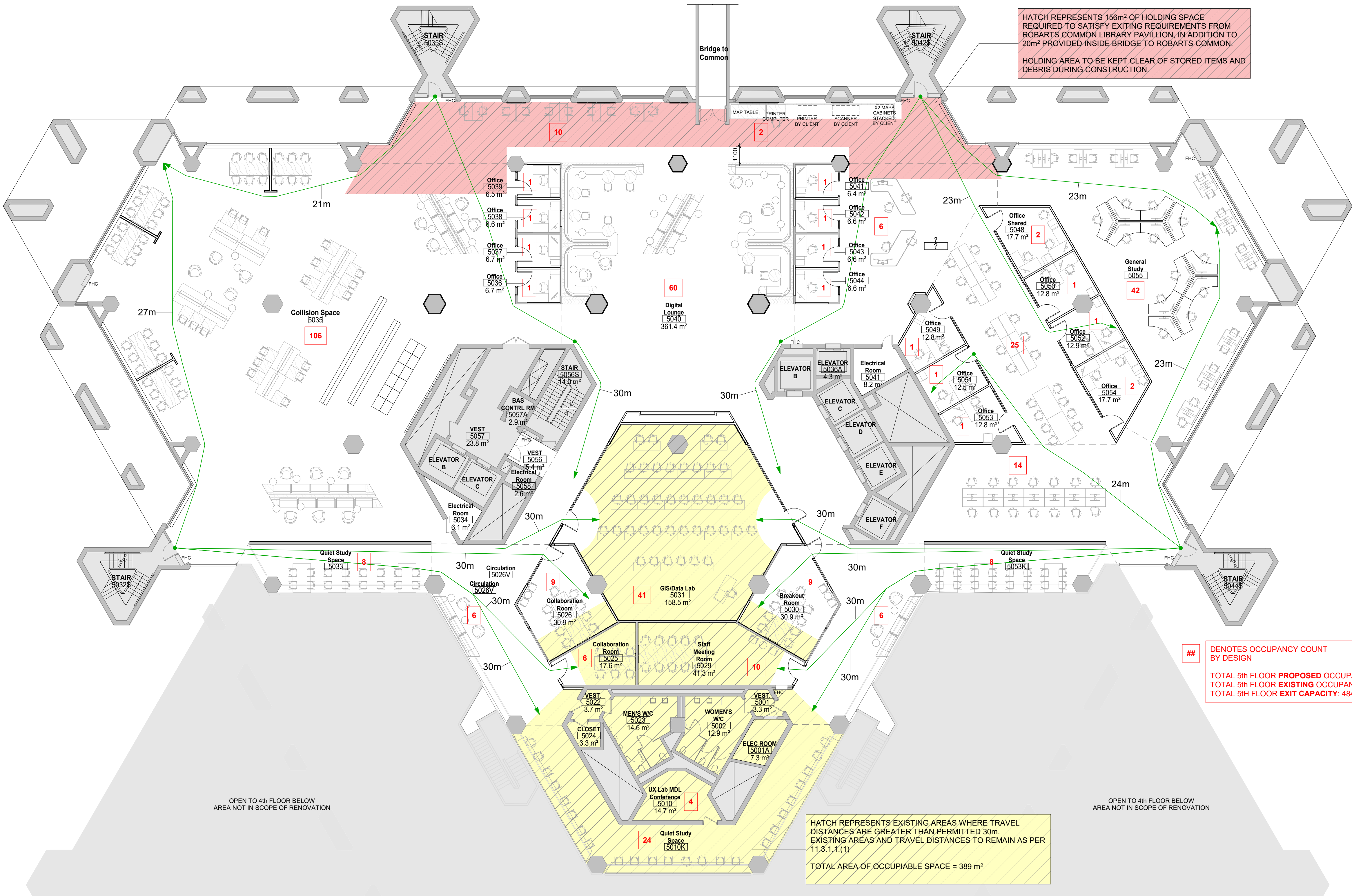
11.14 COMPENSATING CONSTRUCTION	STRUCTURAL	N/A	11.4.3.2.
	[Provide a brief description here or hide this row if not needed.]		
	INCREASE IN OCCUPANT LOAD	N/A	11.4.3.3.
	[Provide a brief description here or hide this row if not needed.]		
	CHANGE OF MAJOR OCCUPANCY	N/A	11.4.3.4.
	[Provide a brief description here or hide this row if not needed.]		
	PLUMBING	N/A	11.4.3.5.
	[Provide a brief description here or hide this row if not needed.]		
	SEWAGE SYSTEM	N/A	11.4.3.6.
	[Provide a brief description here or hide this row if not needed.]		

11.15 COMPLIANCE ALTERNATIVES PROPOSED	N/A	11.5.1.1.
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	[List Compliance Alternative numbers here and provide a brief description or hide this row if not needed.]		
	[List Compliance Alternative numbers here and provide a brief description or hide this row if not needed.]		
	[List Compliance Alternative numbers here and provide a brief description or hide this row if not needed.]		

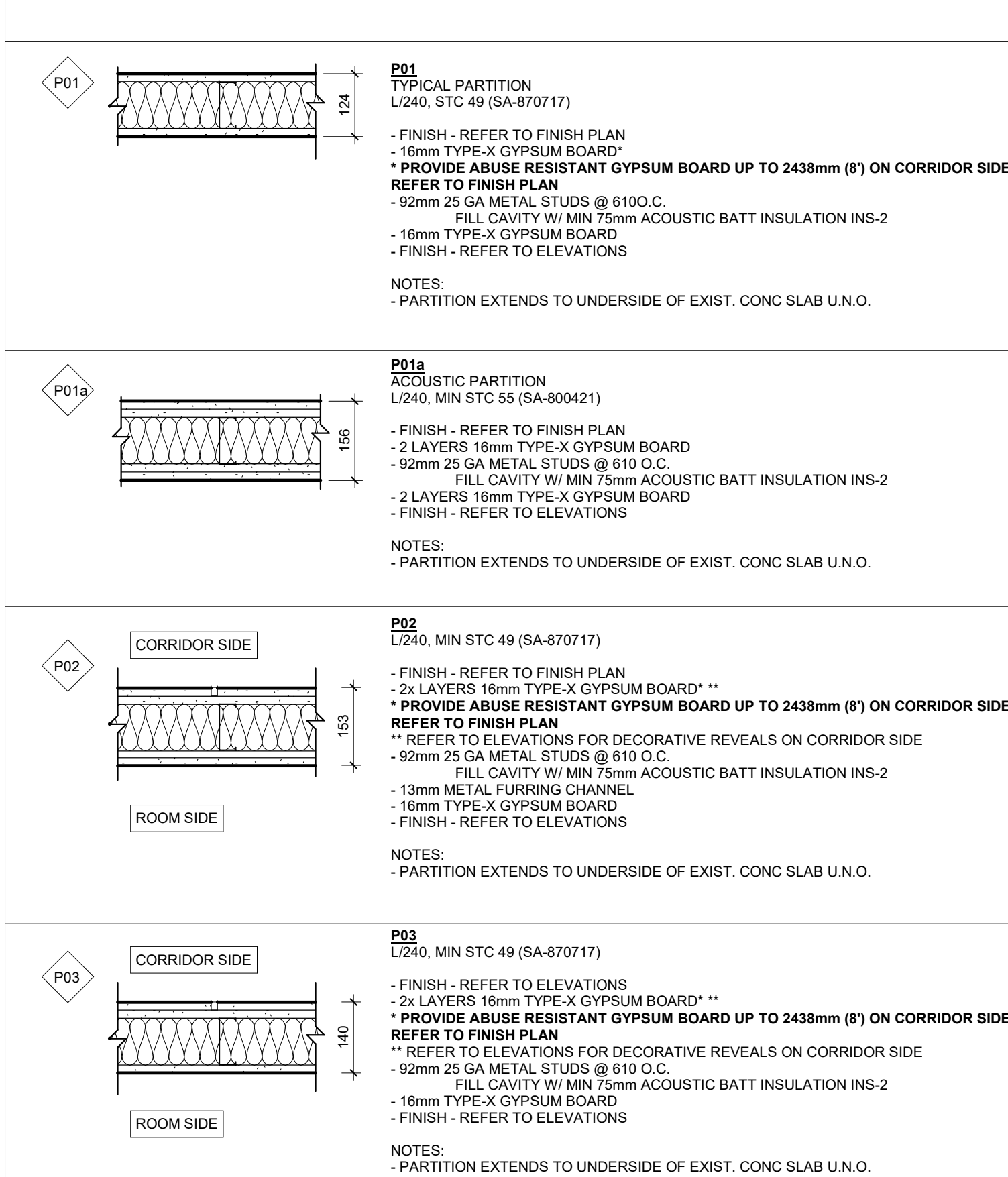
11.16 NOTES	IS AN ALTERNATIVE SOLUTION USED?	NO	
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1	ALL REFERENCES ARE TO DIVISION B OF THE OBC UNLESS PRECEDED BY (A) FOR DIVISION A AND (C) FOR DIVISION C		
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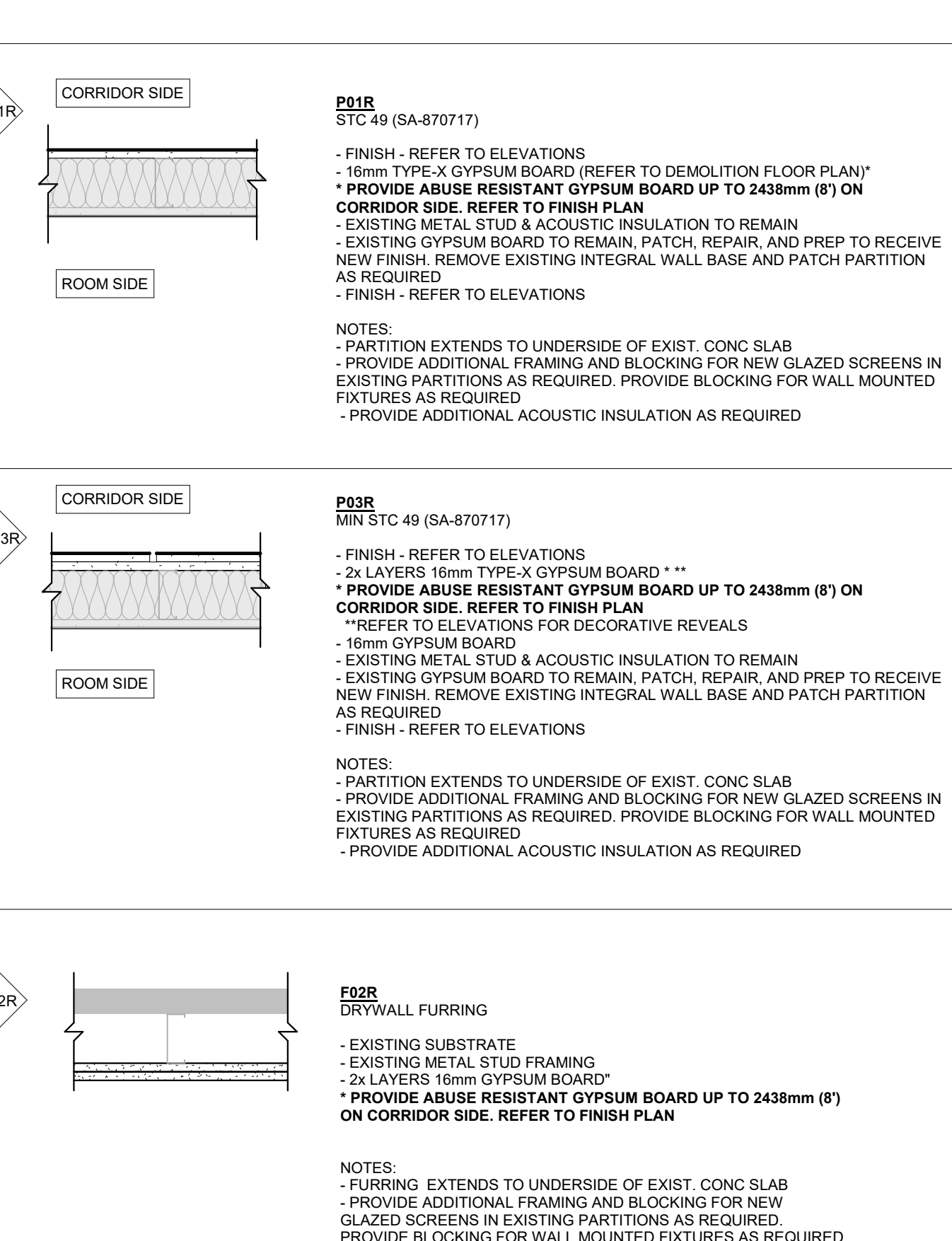


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PARTITION ASSEMBLY TYPES



REFURBISHED PARTITION AND FURRING ASSEMBLY TYPES



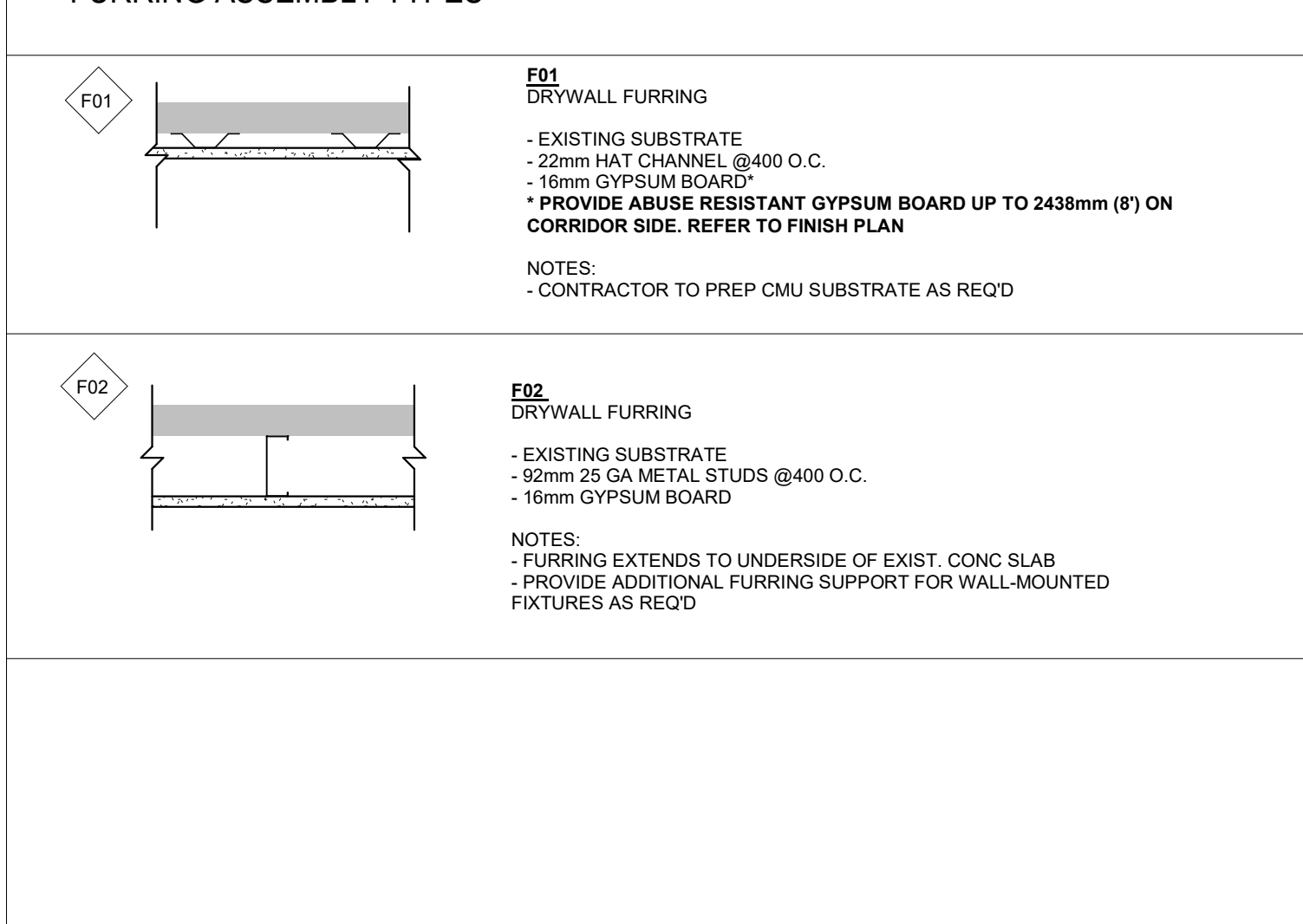
GENERAL NOTES

STEEL STUD WALLS, SPACING AND HEIGHT

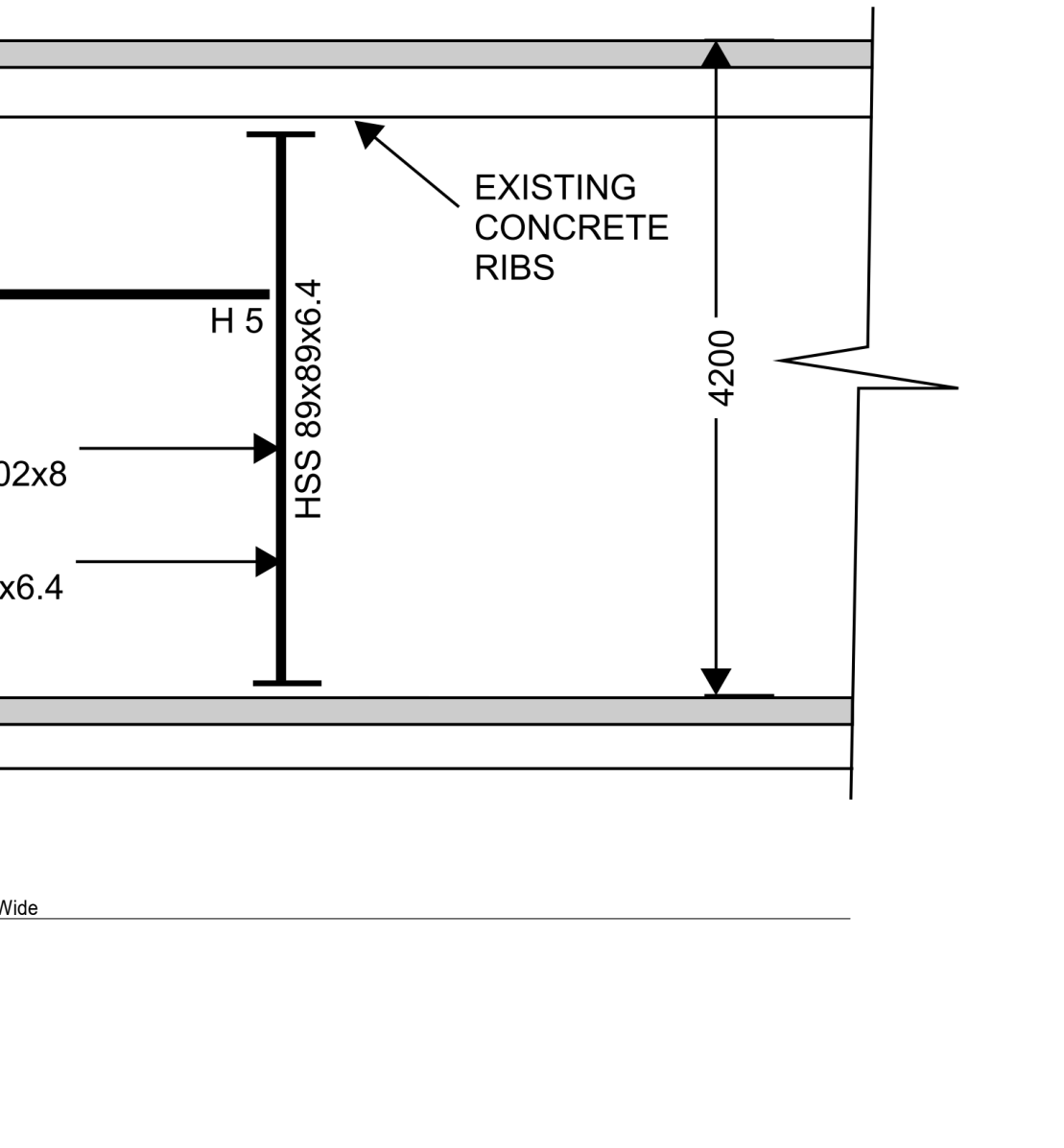
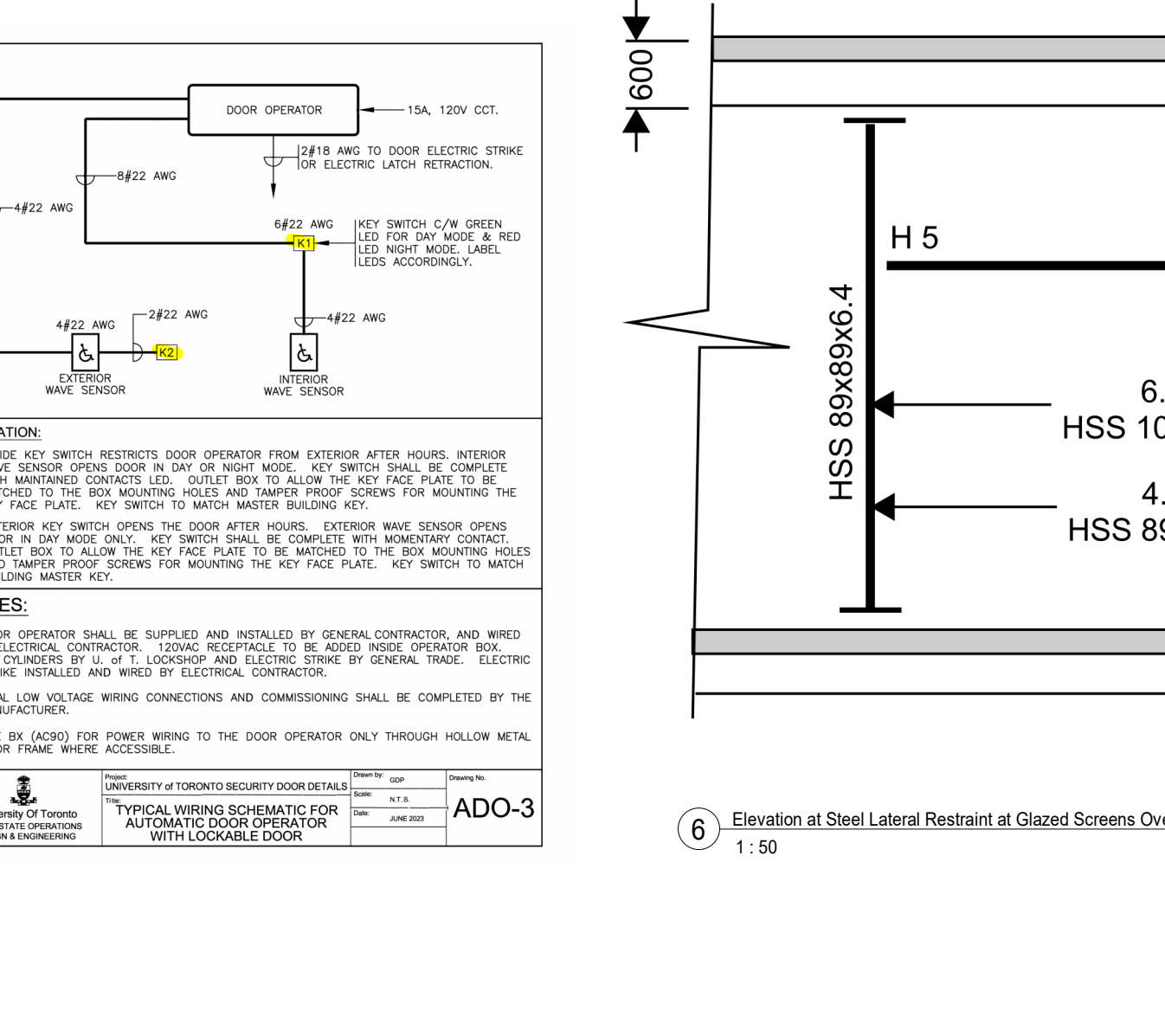
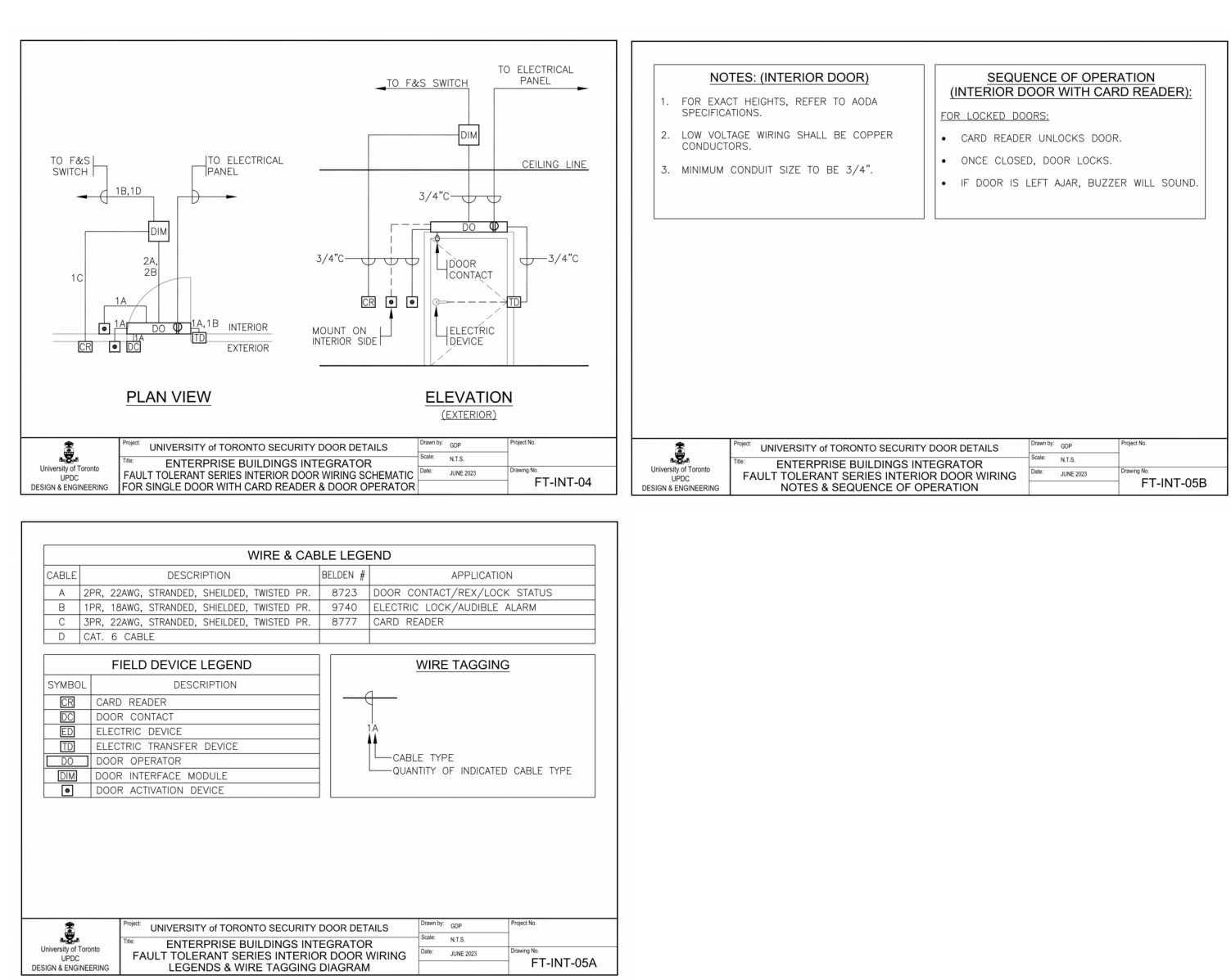
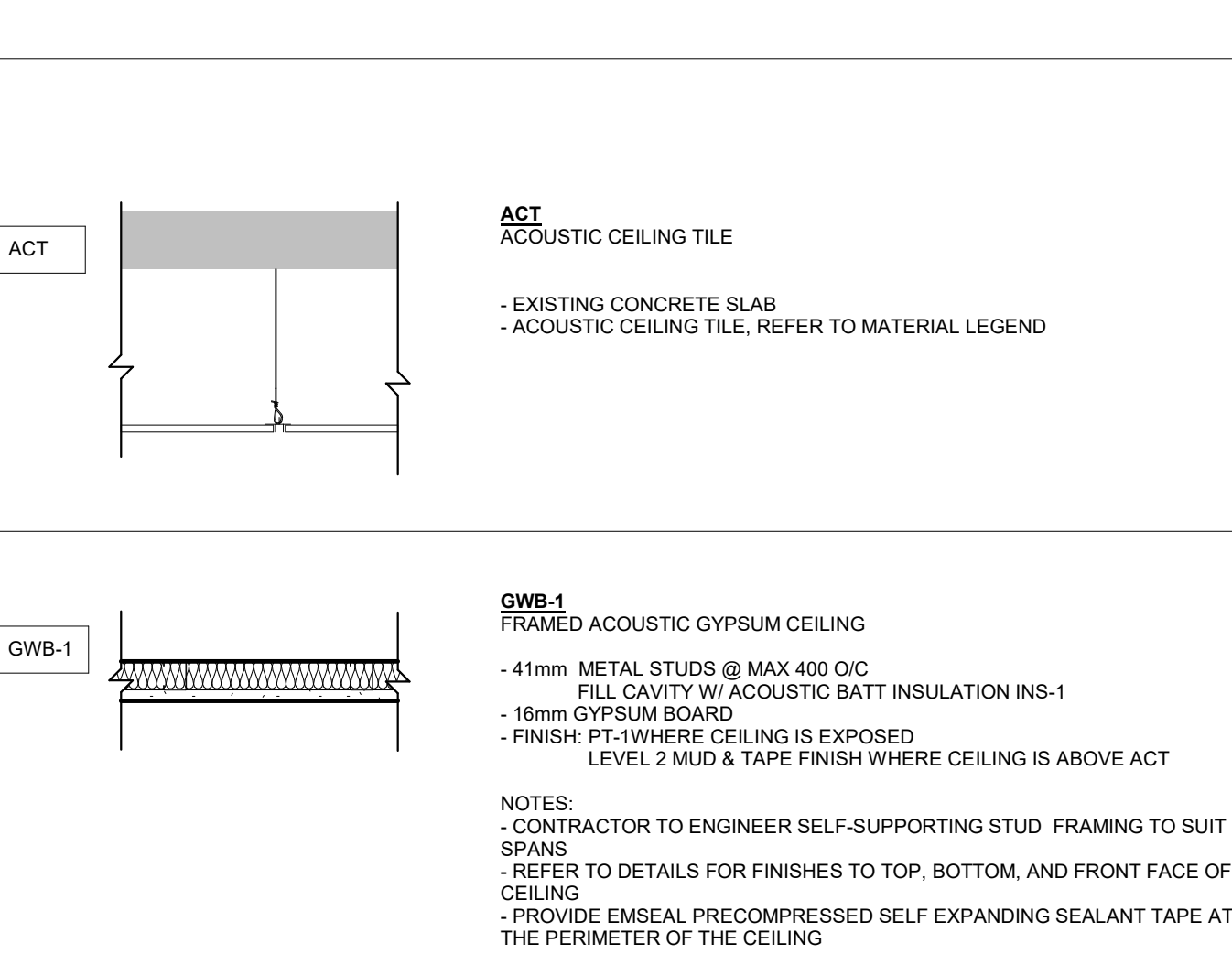
- 1) THE SIZE, SPACING, AND HEIGHT OF STEEL STUDS FOR NON-LOADBEARING INTERIOR WALLS SHALL CONFORM TO MANUFACTURER'S SPAN TABLES.
- 2) REFER TO ASSEMBLIES FOR SPECIFIC GAUGE AND SPACING REQUIREMENTS FOR PARTITIONS. IF DISCREPANCY OCCURS BETWEEN ASSEMBLIES AND MANUFACTURER'S SPAN TABLES, USE THE MORE STRINGENT OF THE TWO.
- 3) ALL PARTITIONS ARE TO EXTEND FROM TOP OF SLAB TO THE USE OF STRUCTURAL SLAB ABOVE U.N.O.
- 4) PROVIDE CONTINUOUS ACOUSTIC SEALANT AT HEAD, SILL, AND ALL PENETRATIONS OF ALL PARTITIONS AND FURRING ASSEMBLIES.
- 5) PROVIDE LEVEL 2 FINISH FOR ALL EXPOSED GWS SURFACES. PROVIDE LEVEL 2 FINISH FOR ALL NON-EXPOSED GWS SURFACES.
- 6) PROVIDE 18mm PLYWOOD BLOCKING AT ALL WALL MOUNTED FURNISHINGS, MILLWORK, ACCESSORIES, EQUIPMENT, ETC. OR AS INDICATED ON PLANS AND/OR INTERIOR ELEVATIONS.
- 7) PROVIDE ENGINEERED BLOCKING FOR AV SCREEN MOUNTING AS INDICATED ON ELEVATIONS.

REFER TO FURNITURE PLANS, MILLWORK DRAWINGS, AND AV DRAWINGS.

FURRING ASSEMBLY TYPES

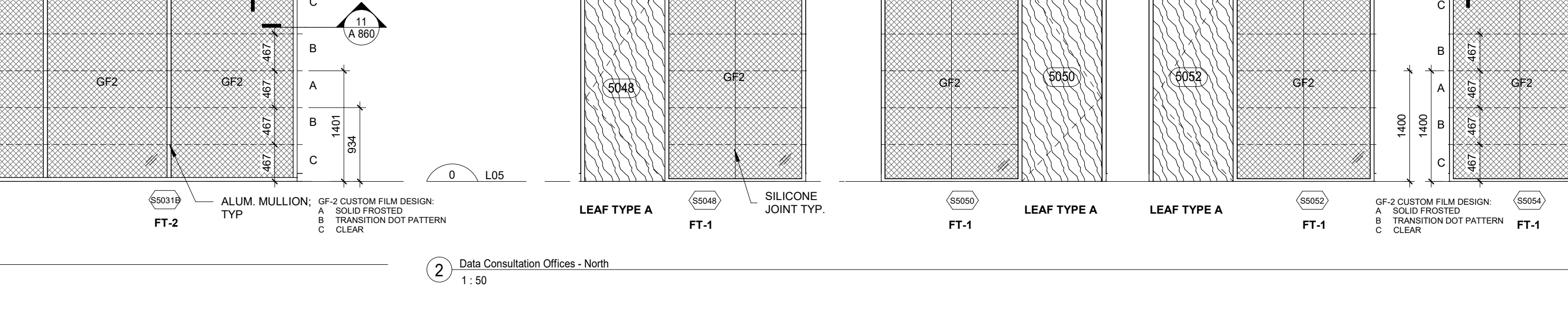
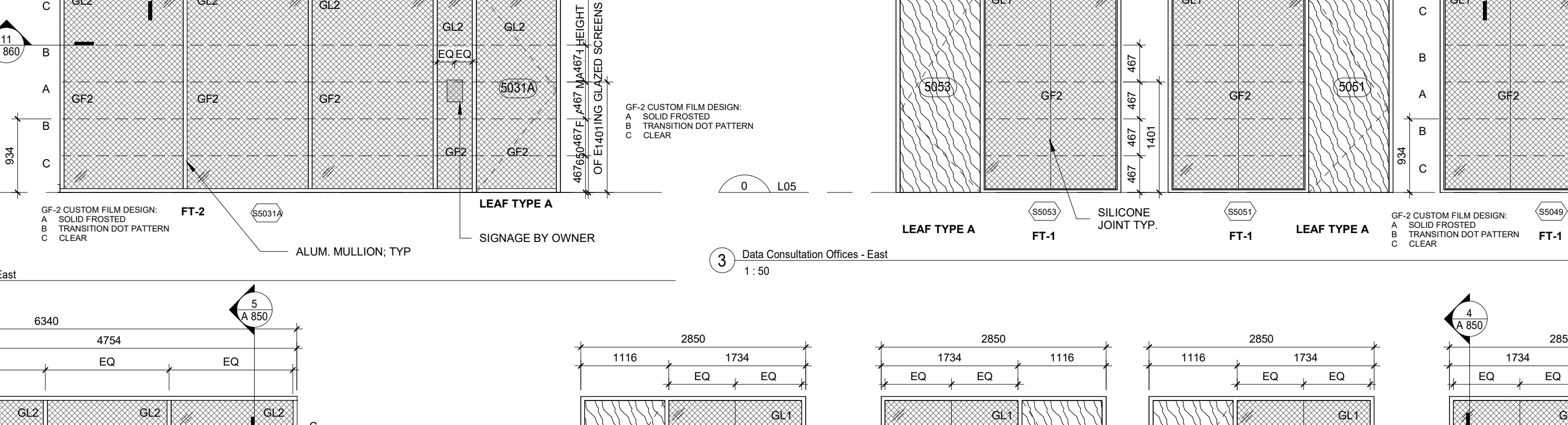
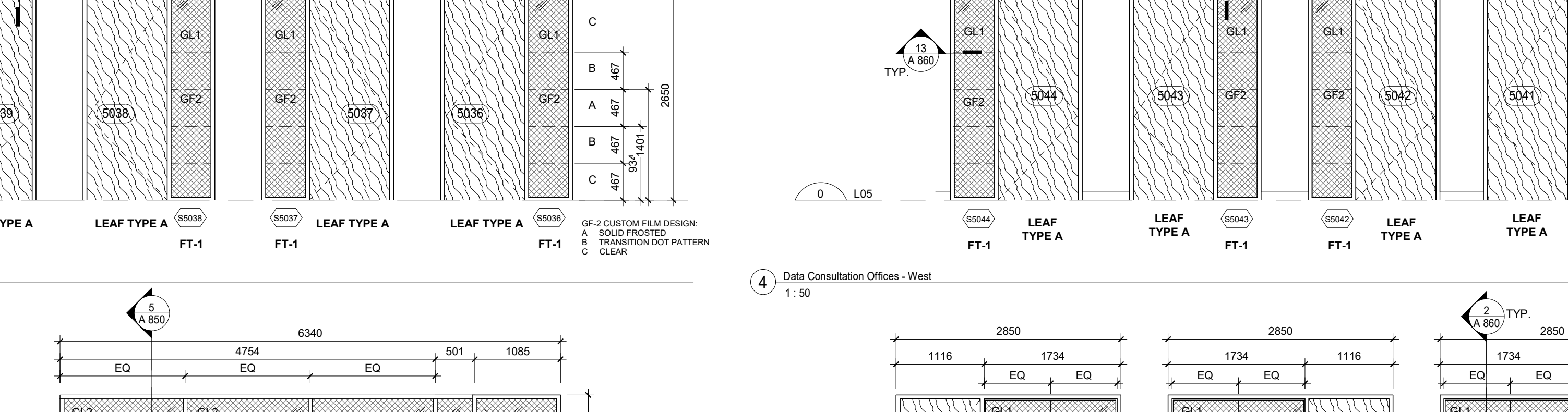
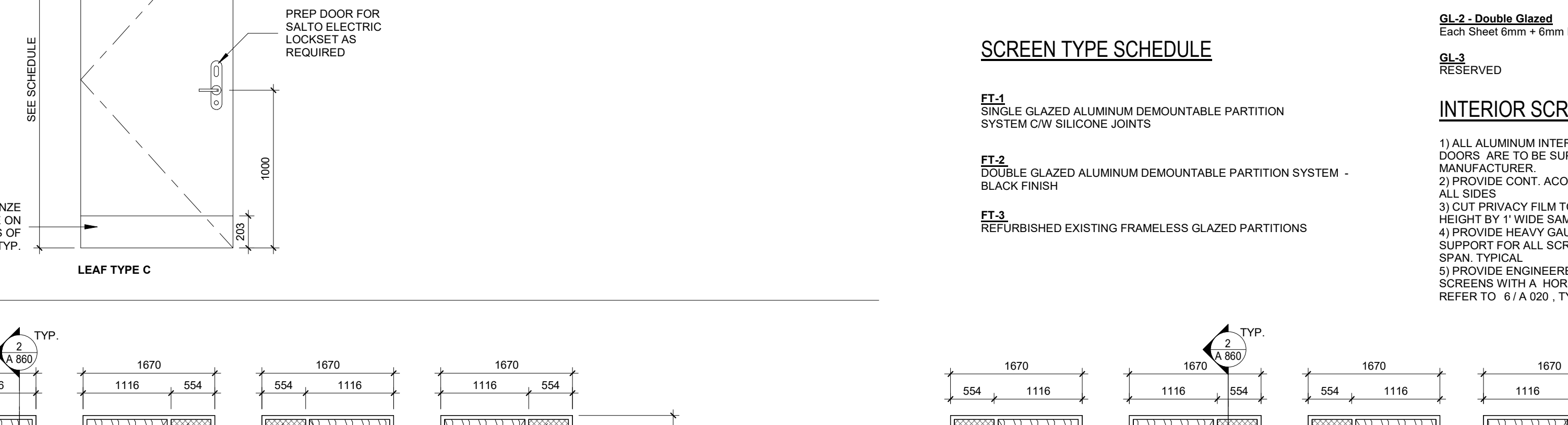
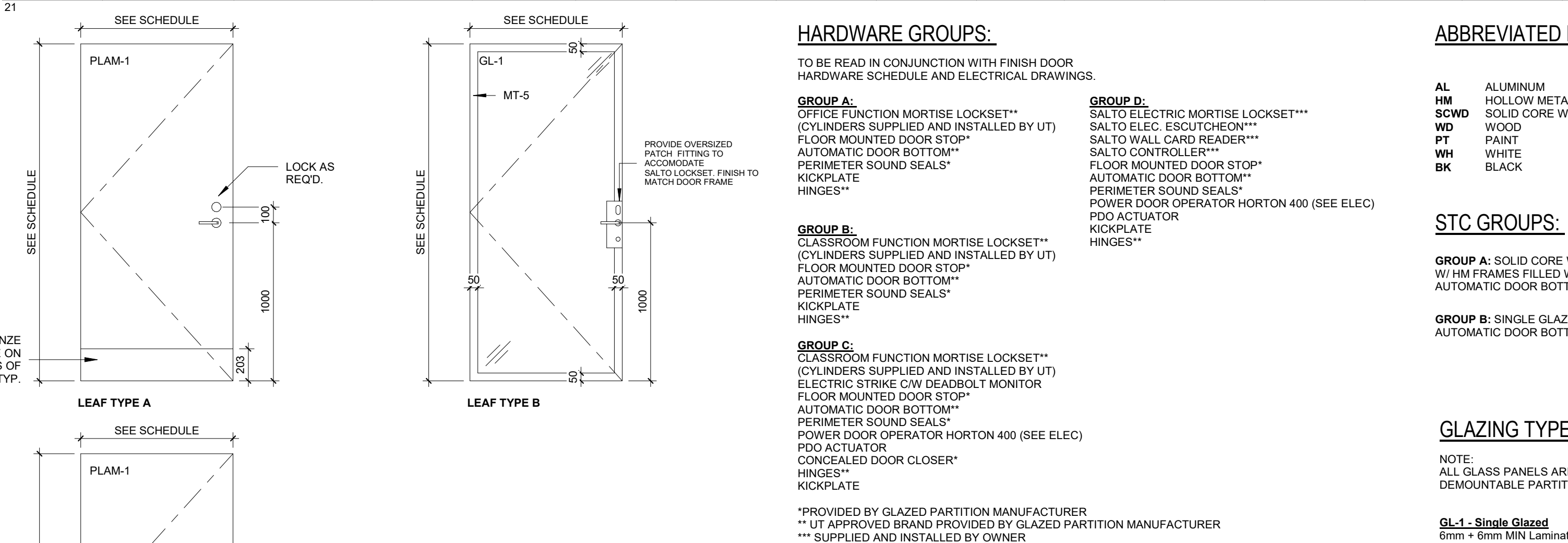


CEILING ASSEMBLY TYPES



Material Legend		
Division	Tag	Product Type
05	MT-1	Steel Fabrications (Prefinished Decorative Steel Plates)
05	MT-2	Bronze Fabrications
05	MT-3	Aluminum Fabrications (Ceiling Strouds for Light Fixtures)
05	MT-3a	Aluminum Fabrications (Ceiling Strouds for Light Fixtures white finish)
05	MT-3b	Aluminum Fabrications (Ceiling Strouds for Light Fixtures black finish)
05	MT-4	Steel Fabrications (Paintable Corner Guards)
06	PLAM-1	High Pressure Plastic Laminate (White Oak)
06	PLAM-2	Aluminum Fabrications (Glass Screen Profiles)
06	PLAM-3	High Pressure Laminate (White)
06	W0-2	White Oak Wood Veneer (Millwork)
06	W0-4	White Oak Solid Wood (Trim/Edging)
07	INS-1	Black Acoustic Blanket (Acoustic premium & Digital Lounge feature wall)
07	INS-2	Acoustic Bulk Insulation
08	GF-2	3M Scotchgard Clear View Film w/ Custom Print
08	ACT-2	Acoustic Ceiling Tile (24x48")
09	ACT-1	Acoustic Ceiling Tile (24x48")
09	B-1	Rubber Base - Black
09	B-2	Rubber Base - White
09	CG-1	Corner Guard (Wall Covering)
09	CPT-1	Carpet Tile
09	FB-1	Fabric - Banquette Upholstery
09	PT-1	Paint - General (White)
09	PT-2	Paint - Exter Metal Radiators, Grilles, Frames (Black)
09	PT-3	Paint - Exter Metal Radiators, Grilles, Frames (White)
09	PT-4	Paint - Exter Metal Wall Panel (Grey)
09	PT-5	Paint - Exter Metal Wall Panel (White)
09	PT-6	Paint - Exter Metal Wall Panel (Black)
09	TH-1	Transition Trim
09	TH-2	Transition Trim
09	WP-1	White Oak Wood Laminate Panel (intercept)
09	WP-2	White Oak Wood Laminate Panel (intercept)
09	WP-3	White Oak Wood Laminate Panel (intercept)
09	WP-4	White Oak Wood Laminate Panel (intercept)
09	WP-5	White Oak Wood Laminate Panel (intercept)
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09	WP-98	White Oak Wood Laminate Panel (intercept)
09	WP-99	White Oak Wood Laminate Panel (intercept)
09	WP-100	White Oak Wood Laminate Panel (intercept)

DOOR SCHEDULE													
DOOR NO.	From Room Name	To Room Name	LEAF WIDTH	LEAF HEIGHT	LEAF TYPE	LEAF THICKNESS	LEAF MATERIAL	LEAF FINISH	GLASS TYPE	SCREEN TYPE	GLASS TYPE	FRAME MATERIAL	FRAME FINISH
5025	Circulation	Collaboration Room	1016	2000	B	12	ALUM	GL-1	GL-1	FT-1	GL-1	AL	MT-5
5026	Collaboration Room	Collaboration Room	1016	2000	A	45	ALUM	GL-1	GL-1	FT-1	GL-1	AL	MT-5
5029	Staff Meeting Room	Circulation	1016	2000	B	12	ALUM	GL-1	GL-1	FT-1	GL-1	AL	MT-5
5030	Breakout Room	Circulation	1016	2000	C	45	ALUM	GL-1	GL-1	FT-1	GL-1	AL	MT-5
5031	Breakout Room	Circulation	1016	2000	A	45	ALUM	GL-1	GL-1	FT-1	GL-1	AL	MT-5
5031B	GIS/Data Lab	Circulation	1016	2000	A	45	ALUM	GL-1	GL-1	FT-2	GL-2	AL	MT-5
5038	Office	Collaboration Space	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	A
5037	Collaboration Space	Collaboration Space	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	A
5038	Collaboration Space	Collaboration Space	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	A
5038	Collaboration Space	Collaboration Space	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	A
5041	Office	Reference Desk	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	A
5042	Reference Desk	Reference Desk	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	A
5043	Office	Reference Desk	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	A
5044	Reference Desk	Reference Desk	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	A
5045	Office	Data Consultation Center	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	A
5046	Data Consultation Center	Data Consultation Center	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	A
5047	Office	Data Consultation Center	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	A
5048	Data Consultation Center	Data Consultation Center	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	A
5049	Office	Data Consultation Center	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	A
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5053	Data Consultation Center	Data Consultation Center	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	A
5054	Data Consultation Center	Data Consultation Center	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	A



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1. DASHED LINE THROUGHOUT INDICATES EXISTING TO BE REMOVED. ALL DIMENSIONS ARE BASED ON EXISTING CONDITIONS. CONTRACTOR SHALL MAKE OBSERVATIONS, REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE BEFORE DISTURBING EXISTING CONDITIONS.
2. THE DEMOLITION/RELOCATION/ADDITION DRAWINGS AND SPECIFICATIONS SHALL BE THE BASIS OF WHAT THE CONTRACTOR OR CONSTRUCTION MANAGER IS RESPONSIBLE TO DETERMINE FOR THE FULL SCOPE OF THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION/ADDITION REQUIREMENTS.
3. ALL EXISTING STRUCTURES TO BE REMOVED SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION. ALL STRUCTURES TO BE INCURRED SHALL BE REPAIRED AND REPLACED AT NO COST TO THE OWNER BY THE CONTRACTOR.
4. ALL EXISTING CONCRETE TO BE REMOVED SHALL BE REMOVED EXPOSED AND WILL BE UNCOVERED WHEN EXPOSED. ALL EXISTING CONCRETE TO BE REMOVED SHALL BE MARK OR DAMAGE CONCRETE. ANY MARKS SHALL BE REMOVED BY THE CONTRACTOR AT THEIR EXPENSE.
5. ALL EXISTING ELECTRICAL AND MECHANICAL SYSTEMS MEMBERS SUPPORTING THE EXISTING LADING SHALL BE PRESERVED AND REMOVED BY THE CONTRACTOR AS REQUIRED FOR THE SCOPE OF DEMOLITION WORK.
6. REFER TO POWER PLAN FOR EXISTING FLOOR BOXES AND ELECTRICAL PANELS.
7. REMOVE ALL EXPOSED CONDUIT, WIRING, AND ELECTRICAL PANELS.
8. REMOVE ALL EXISTING ELECTRICAL AND MECHANICAL INFRASTRUCTURE TO SOURCE OF POWER AND ALL ELECTRICAL DEVICES TO BE REMOVED TO DEMOLITION AREA. SEE ELECTRICAL SPECIFICATIONS.

INDICATES EXISTING PARTITIONS TO REMAIN THAT REQUIRE GYPSUM BOARD AND WOOD VENEER PLYWOOD FINISH TO BE REMOVED. REFER TO DEMOLITION NOTES.
REMOVE ALL INTEGRAL WALL BASE FROM PARTITIONS TO REMAIN.

SEE A020 FOR REBURNISHED ASSEMBLIES
SCHEDULE.

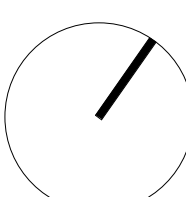
PROVIDE ADDITIONAL FRAMING AND
BLOCKING AS REQUIRED TO SUPPORT
NEW OPENINGS IN EXISTING PARTITIONS.

DEMOLITION NOTES

- 1 REMOVE ALL EXISTING GYPSUM WALL BOARD, PARTITION, CEILING, AND TRIM. REMOVE ALL PARTS ON THE INDICATED SIDE OF THE WALL. REMOVE ALL EXISTING WALL, CEILING, AND FLOOR DIFFUSERS AND OTHER DEVICES.
- 2 REMOVE ALL WALL BASE ON INDICATED SIDE OF THE WALL. REMOVE ALL TRIM AND WALL WITH NEW GYPSUM WALL BOARD TO MATCH EXISTING WALL. REMOVE ALL EXISTING ELECTRICAL AND NEW ELECTRICAL WALL EQUIPMENT AS REQUIRED. REMOVE ALL EXISTING ELECTRICAL PANELS AND ADD FOR EQUIPMENT LOCATION AND MOUNTING HEIGHT.
- 3 DEMOLISH EXISTING DATA OUTLETS. REFER TO ELECTRICAL. POWER OUTLETS TO REMAIN. PROVIDE NEW WALL PLATE AND GROUND BARS AFTER DATA OUTLET REMOVAL.
- 4 EXISTING MECHANICAL DIFFUSERS TO BE REMOVED. CLEAN, REPAIR, AND RE-INSTALL. SEE MECHANICAL AND INTERIOR FINISHES.
- 5 REMOVE ALL EXISTING SIGNAGE AND HARDWARE. REMOVE ALL EXISTING SIGNAGE AND HARDWARE. REPAIR AND RE-INSTALL AS REQUIRED. RE-PAINTED HARDWARE TO BE RE-INSTALLED AS REQUIRED. SEE MECHANICAL AND INTERIOR FINISHES.
- 6 REMOVE ALL ELECTRICAL AND POWER PANEL FOR EXISTENT OF DECOMMISSIONS AND REMAINING PANELS TO BE RE-INSTALLED AS REQUIRED. SEE ELECTRICAL.
- 7 REMOVE ALL EXISTING SIGNAGE FROM PARTITIONS AND COLUMNS. REMOVE ALL EXISTING SIGNAGE FROM PARTITIONS AND COLUMNS. RE-PAINTED SIGNAGE TO BE RE-INSTALLED AS REQUIRED. SEE MECHANICAL AND INTERIOR FINISHES.
- 8 REMOVE ALL APPLIED VINYL FINISHES FROM TRANSOMS ABOVE ELEVATOR DOORS. CLEAN AND RE-PAINT ELEVATOR DOOR FINISHES TO RECEIVE NEW PAINT.
- 9 DEMOLISH EXISTING ELECTRICAL EQUIPMENT IN THE ELECTRICAL ROOMS AS REQUIRED. SEE ELECTRICAL.

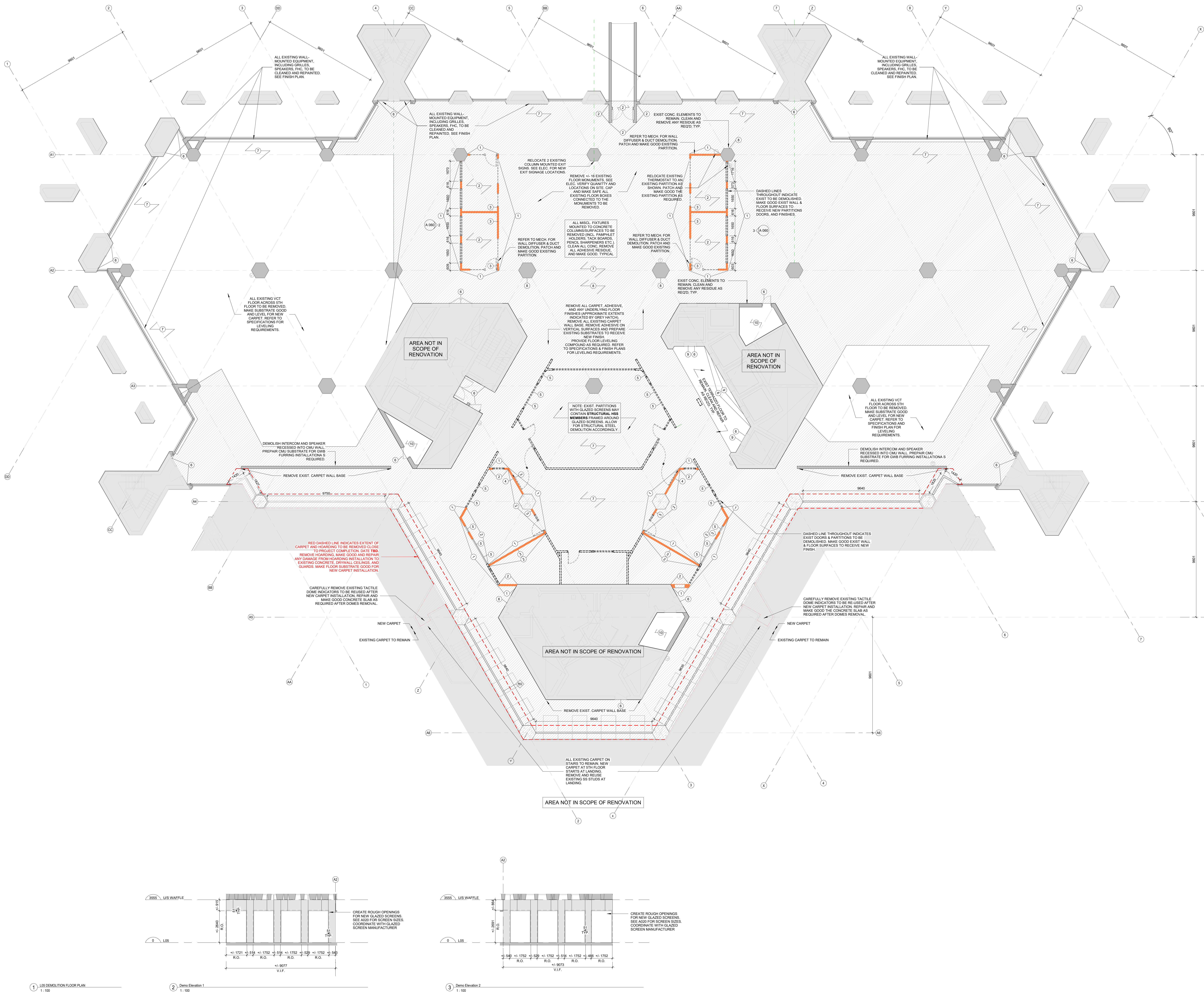
8	20250127	RE-ISSUED FOR CONSTRUCTION
7	20241203	ISSUED FOR CONSTRUCTION
6	20240927	ISSUED FOR TENDER
5	20240816	ISSUED FOR BUILDING PERMIT
4	20240806	ISSUED FOR 100% CD
3	20240429	ISSUED FOR 80% CD COSTING
2	20231213	ISSUED FOR DD CLIENT REVIEW
1	20231122	ISSUED FOR DD COSTING & REVIEW

No.	Date	Issue/Revision
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Title: **L05 Demolition Floor Plan**

Project No. 2322	Scale	As indicated
Drawing No.		



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CEILING DEMO NOTES

1. DASHED LINE THROUGHOUT INDICATES TO BE DEMOLISHED. DEMOLITION NOTES ARE BASED ON EXISTING RECORDED DOCUMENTS AND FIELD OBSERVATIONS. REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE BEFORE DISTURBING EXISTING INSTALLATION.
2. THE DEMOLITION/RELOCATION/ADDITION DRAWINGS INDICATE THE GENERAL SCOPE OF WORK. IT SHALL BE THE CONTRACTOR OR CONSTRUCTION MANAGERS RESPONSIBILITY TO DETERMINE THE FULL SCOPE, EXTENT, NATURE AND MANNER OF DEMOLITION/ADDITION REQUIRED.
3. ALL EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION/ADDITION. ANY DAMAGES INCURRED SHALL BE REPAIRED AND REPLACED AT NO COST TO THE OWNER BY THE CONTRACTOR.
4. FOR CLARITY, ALL EXISTING EXPOSED CONCRETE IS TO REMAIN EXPOSED AND WILL BE UNCOVERED WHEN THE TEMPORARY HOARDING IS REMOVED. DO NOT MARK OR DAMAGE CONCRETE. ANY MARKS SHALL BE REMOVED BY THE CONTRACTOR AT THEIR EXPENSE.
5. EXISTING PARTITIONS MAY CONTAIN STEEL REINFORCING MEMBERS SUPPORTING THE EXISTING GLAZED SCREENS. ALLOW FOR STEEL DEMOLITION AS REQUIRED FOR THE SCOPE OF DEMOLITION WORK.
6. REFER TO POWER PLAN FOR EXISTING FLOOR BOXES TO BE CAPPED AND MADE SAFE.
7. REMOVE ALL EXPOSED CONDUIT, WIRING, ASSOCIATED JUNCTION BOXES AND OTHER ELECTRICAL INFRASTRUCTURE TO SOURCE OF POWER FOR ALL ELECTRICAL DEVICES REQUIRED TO BE DEMOLISHED. SEE ELECTRICAL.
8. DEMOLISH ALL EXISTING WIRELESS ACCESS POINTS (WAPs) AND DISCONNECT WITHIN THE SCOPE OF THE RENOVATION AND RETURN TO OWNER (LOFT-TS). REMOVE ALL ASSOCIATED EXPOSED WIRING TO SOURCE.

SYMBOLS AND ABBREVIATIONS

INDICATES EXISTING PARTITIONS THAT REQUIRE CYPRESS BOARD AND WOOD VENEER PLYWOOD TO BE REMOVED. REFER TO DEMOLITION NOTES. REMOVE ALL INTEGRAL WALL BASE.

SEE ADD FOR REFURBISHED ASSEMBLIES SCHEDULE. PROVIDE ADDITIONAL FRAMING AND BLOCKING AS REQUIRED TO SUPPORT NEW OPENINGS IN EXISTING PARTITIONS.

RE EXISTING LIGHTS AND DEVICES TO BE REMOVED. MAKE SURFACE GOOD FOR NEW LIGHTING.

EX EXISTING LIGHTS TO REMAIN.

GREY FILL ON PLANS REPRESENTS AREAS NOT IN SCOPE OF THE RENOVATION, TYPICAL.

DEMOLITION RCP NOTES

1. RELOCATE AND REWIRE EXISTING JUNCTION BOXES TO CLEAR TRIANGULAR BAFFLES FOR NEW LIGHT FIXTURE INSTALLATION. RELOCATE ELECTRICAL CONDUIT AS REQUIRED. REMOVE AND REFEED WIRE AS REQUIRED. RUN CONDUIT TIGHT TO CONCRETE BAFFLE AS SHOWN ON 474-809. REFER TO ELECTRICAL WHERE "+/-" QUANTITIES ARE NOTED. PROVIDE AN ALLOWANCE ACCORDINGLY FOR AREAS THAT CANNOT BE SURVEYED PRIOR TO DEMOLITION IS COMPLETE.
2. DEMOLISH PHOTOGRAPHY METAL DUCT EXTENSION TO CLEAR TRIANGULAR BAFFLE FOR NEW LIGHT FIXTURE INSTALLATION. PATCH AND REPAIR CONCRETE WALL.
3. REMOVE EXISTING METAL STUD TRACK. MAKE GOOD AND PATCH EXPOSED CONCRETE SLAB.
4. RELOCATE EXISTING BELL ANTENNAS AND ALL ASSOCIATED CONDUIT, WIRING, METAL FRAMES AND SCREENS. MAKE GOOD AND PATCH EXPOSED CONCRETE SLAB. COORDINATE WITH BELL AND OWNER AS REQUIRED.
5. KEEP ALL EXISTING HEAT DETECTORS TO BE RE-INSTALLED IN NEW ACT CEILING.

8	20250127	RE-ISSUED FOR CONSTRUCTION
7	20241203	ISSUED FOR CONSTRUCTION
6	20240927	ISSUED FOR TENDER
5	20240816	ISSUED FOR BUILDING PERMIT
4	20240806	ISSUED FOR 100% CD
3	20240429	ISSUED FOR 80% CD COSTING
2	20231213	ISSUED FOR DD CLIENT REVIEW
1	20231122	ISSUED FOR DD COSTING & REVIEW

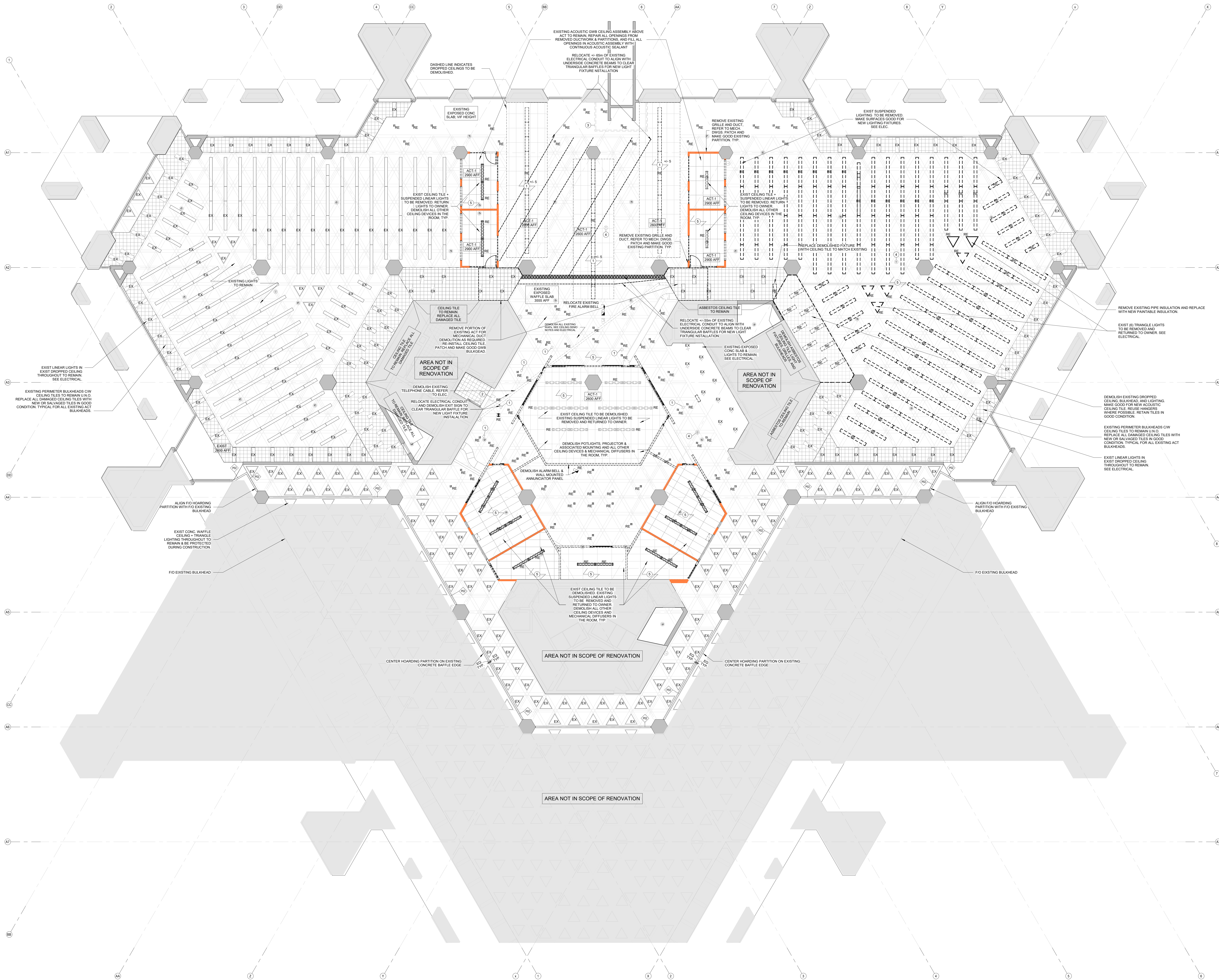
No. Date Issue/Revision

**Robarts 5th Floor
Renovation**

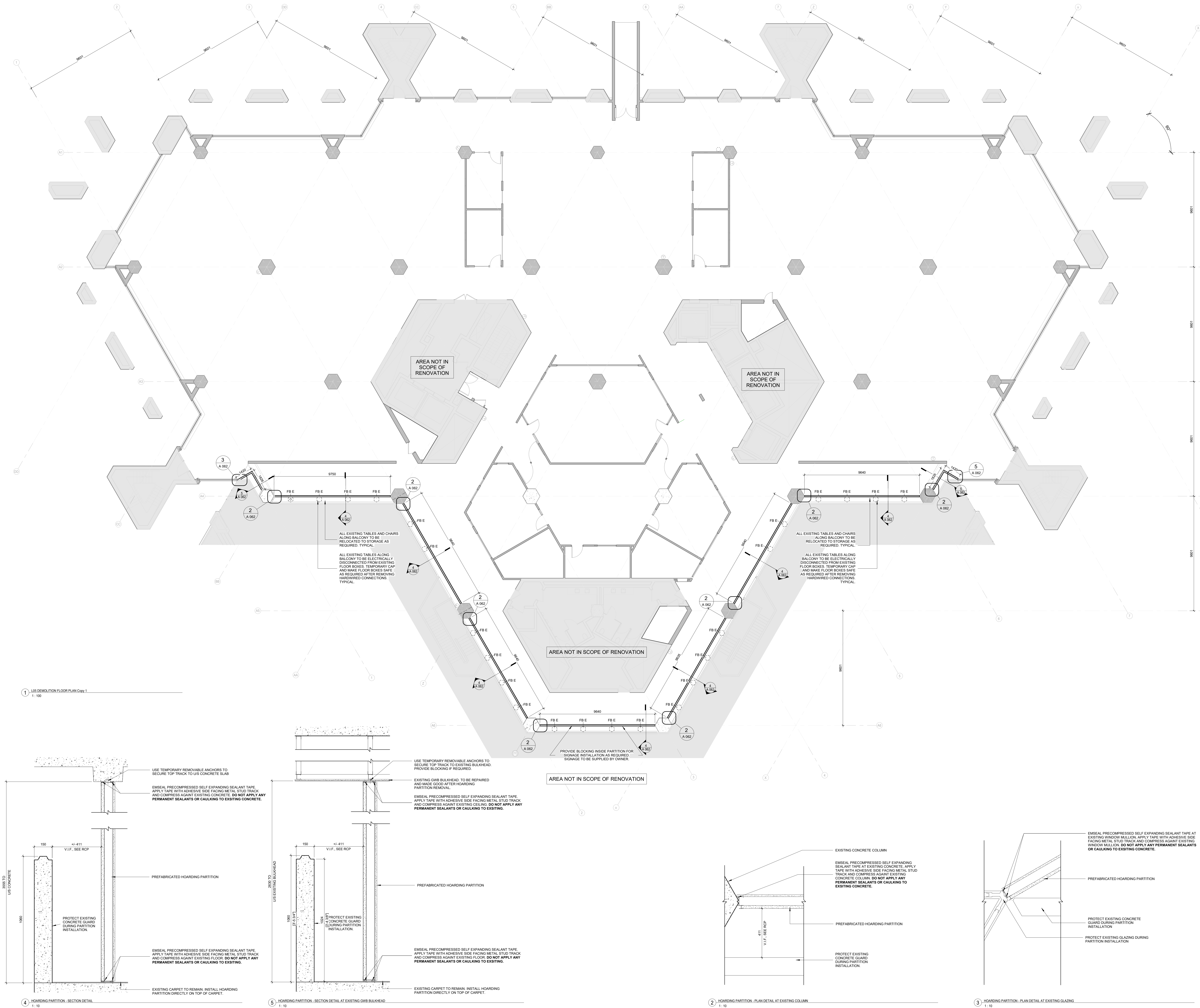
Title:
**L05 Demolition Reflected
Ceiling Plan**

Project No. 2322 Scale As indicated
Drawing No.

A 061



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superkul

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4. FOR CLARITY, ALL EXISTING EXPOSED CONCRETE IS TO REMAIN EXPOSED AND WILL BE UNCOVERED WHEN THE TEMPORARY HOARDING IS REMOVED. DO NOT MARK OR DAMAGE CONCRETE. ANY MARKS SHALL BE REMOVED BY THE CONTRACTOR AT THEIR EXPENSE.

5. ALL WORK TO BE DONE DURING THE HOURS DESIGNATED BY OWNER.

6. THE CONTRACTOR OR CONSTRUCTION MANAGERS SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, STANDARDS, ORDINANCES, SAFETY ORDERS, LOCAL LAWS AND REGULATIONS INCLUDING OWNER POLICIES AND DIRECTIVES.

7. THE CONTRACTOR OR CONSTRUCTION MANAGERS SHALL COORDINATE, NOTIFY AND SCHEDULE ALL REMOVALS AND RELOCATIONS WITH THE OWNERS REPRESENTATIVE PRIOR TO PROCEEDING WITH WORK.

SYMBOLS AND ABBREVIATIONS

FB E APPROXIMATE LOCATION OF EXISTING FLOOR BOX OR CONDUIT STUB FOR HARDWARE POWER CONNECTION

PS WALL TAG

--- CENTRE LINE

--- EXISTING

--- DEMOLITION

--- NEW CONSTRUCTION

CONCRETE

GYPSUM BOARD

EXISTING

INSULATION (BATT)

7 20250127 RE-ISSUED FOR CONSTRUCTION

6 20241203 ISSUED FOR CONSTRUCTION

5 20240927 ISSUED FOR TENDER

4 20240816 ISSUED FOR BUILDING PERMIT

3 20240806 ISSUED FOR 100% CD

2 20240429 ISSUED FOR 80% CD

1 20240229 ISSUED FOR TEMPORARY HOARDING CONSTRUCTION

No.	Date	Issue/Revision

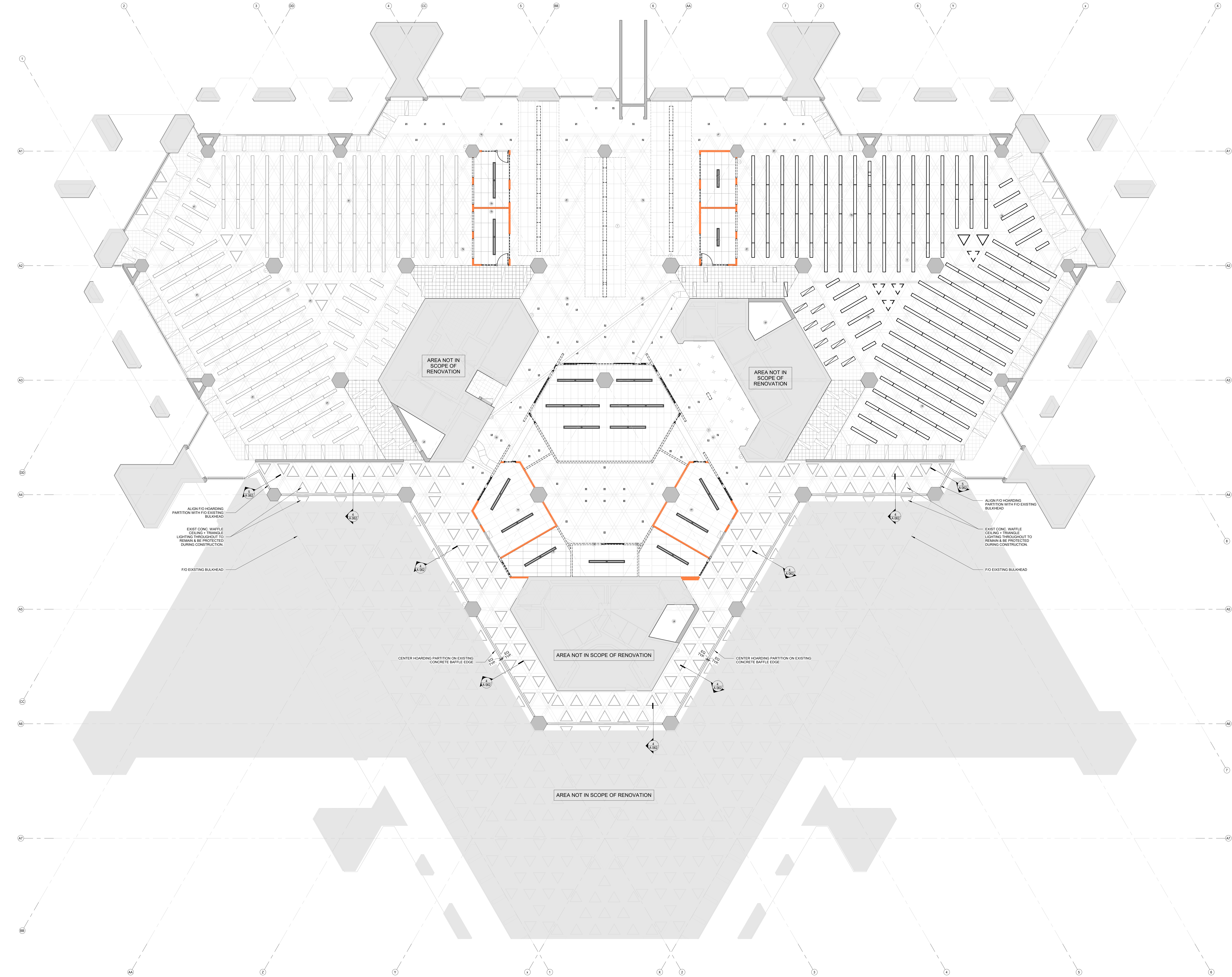
**Robarts 5th Floor
Renovation**

Title:
**L05 Temporary Hoarding
Plan**

Project No. 2322	Scale	As indicated
Drawing No.		

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1 L05 DEMOLITION RCP Copy 1
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GENERAL NOTES

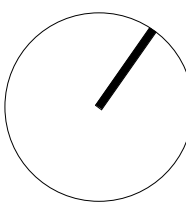
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4. FOR CLARITY, ALL EXISTING EXPOSED CONCRETE IS TO REMAIN EXPOSED AND WILL BE UNCOVERED WHEN THE TEMPORARY HOARDING IS REMOVED. DO NOT MARK OR DAMAGE CONCRETE. ANY MARKS SHALL BE REMOVED BY THE CONTRACTOR AT THEIR EXPENSE.
5. ALL WORK TO BE DONE DURING THE HOURS DESIGNATED BY OWNER.
6. THE CONTRACTOR OR CONSTRUCTION MANAGER SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, STANDARDS, ORDINANCES, SAFETY ORDERS, LOCAL LAWS AND REGULATIONS INCLUDING OWNER'S POLICES AND DIRECTIVES.
7. THE CONTRACTOR OR CONSTRUCTION MANAGER SHALL COORDINATE, NOTIFY AND SCHEDULE ALL REMOVALS AND RELOCATIONS WITH THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH WORK.

SYMBOLS AND ABBREVIATIONS

- FB E APPROXIMATE LOCATION OF EXISTING FLOOR BOX OR CONDUIT STUD FOR HARDWARE POWER CONNECTION
- W WALL TAG
- C CENTRE LINE
- EXISTING
- DEMOLITION
- NEW CONSTRUCTION
- CONCRETE
- GYPSUM BOARD
- EXISTING
- INSULATION (BATT)

7	20250127	RE-ISSUED FOR CONSTRUCTION
6	20241203	ISSUED FOR CONSTRUCTION
5	20240927	ISSUED FOR TENDER
4	20240816	ISSUED FOR BUILDING PERMIT
3	20240806	ISSUED FOR 100% CD
2	20240429	ISSUED FOR 80% CD COSTING
1	20240229	ISSUED FOR TEMPORARY HOARDING CONSTRUCTION

No. Date Issue/Revision



Robarts 5th Floor Renovation

Title:
L05 Temporary Hoarding Reflected Ceiling Plan

Project No. 2322 Scale As indicated
Drawing No.

A 063

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GENERAL PLAN NOTES

1. PAINT ALL NEW & EXISTING DRYWALL TO REMAIN THROUGHOUT. SEE FINISH PLAN.
2. ALL EXISTING CONCRETE SURFACES TO REMAIN. PROTECT, CLEAN & REPAIR AS REQUIRED.
3. DIMENSIONS PROVIDED FOR NEW PARTITIONS ARE TO THE CENTERLINE OF THE METAL STUD. VERIFY ALL DIMENSIONS IN FIELD BEFORE PROCEEDING.
4. DIMENSIONS PROVIDED FOR EXISTING AND REBUSHED PARTITIONS ARE TO THE GYPSUM BOARD FINISH OF THE PARTITION.

SYMBOLS AND ABBREVIATIONS

- C.O.B. CENTER PARTITION ON EXISTING CONCRETE BEAM REFER TO RCP VERIFY PROVIDED DIMENSION IN FIELD.
- PXXR PARTITION TAG FOR REBUSHED EXISTING PARTITIONS. REFER TO ASSEMBLY TYPES & DEMOLITION DRAWINGS.
- PXX PARTITION TAG FOR NEW PARTITIONS. REFER TO ASSEMBLY TYPES.
- SCREEN WALL/MILKWORK MOUNTED SCREEN. SEE AV AND ELECTRICAL. PROVIDE BLOCKING AS REQUIRED. COORDINATE POWER AND AV PROVISIONS WITH MOUNTING BRACKET LOCATION AS REQUIRED.
- WB-# WALL MOUNTED WHITE BOARD. PROVIDED BY OWNER. REFER TO MATERIAL LEGEND FOR SIZES. PROVIDE BLOCKING AS REQUIRED.
- T WALL MOUNTED THERMOSTAT. REFER TO MECHANICAL.
- ⌞ LIGHT SWITCH. SEE ELECTRICAL.
- PDO POWER DOOR OPERATOR ACTUATOR. SEE HARDWARE SCHEDULE & ELECTRICAL.
- GREY FILL ON PLANS REPRESENTS AREAS NOT IN SCOPE OF THE RENOVATION. TYPICAL.

NOTES

1. CONTINUOUS BLOCKING FOR FUTURE DISPLAY/ARTWORK MOUNTING. PROVIDE 1800mm TALL PL WOOD BLOCKING AT 750mm AFF.

- | | | |
|----|----------|--------------------------------|
| 10 | 20250127 | RE-ISSUED FOR CONSTRUCTION |
| 9 | 20250127 | ISSUED FOR SH-001 |
| 8 | 20241203 | ISSUED FOR CONSTRUCTION |
| 7 | 20240927 | ISSUED FOR TENDER |
| 6 | 20240816 | ISSUED FOR BUILDING PERMIT |
| 5 | 20240806 | ISSUED FOR 100% CD |
| 4 | 20240429 | ISSUED FOR 80% CD |
| 3 | 20231213 | COSTING |
| 2 | 20231126 | ISSUED FOR DD CLIENT REVIEW |
| 1 | 20231122 | ISSUED FOR DD COSTING & REVIEW |

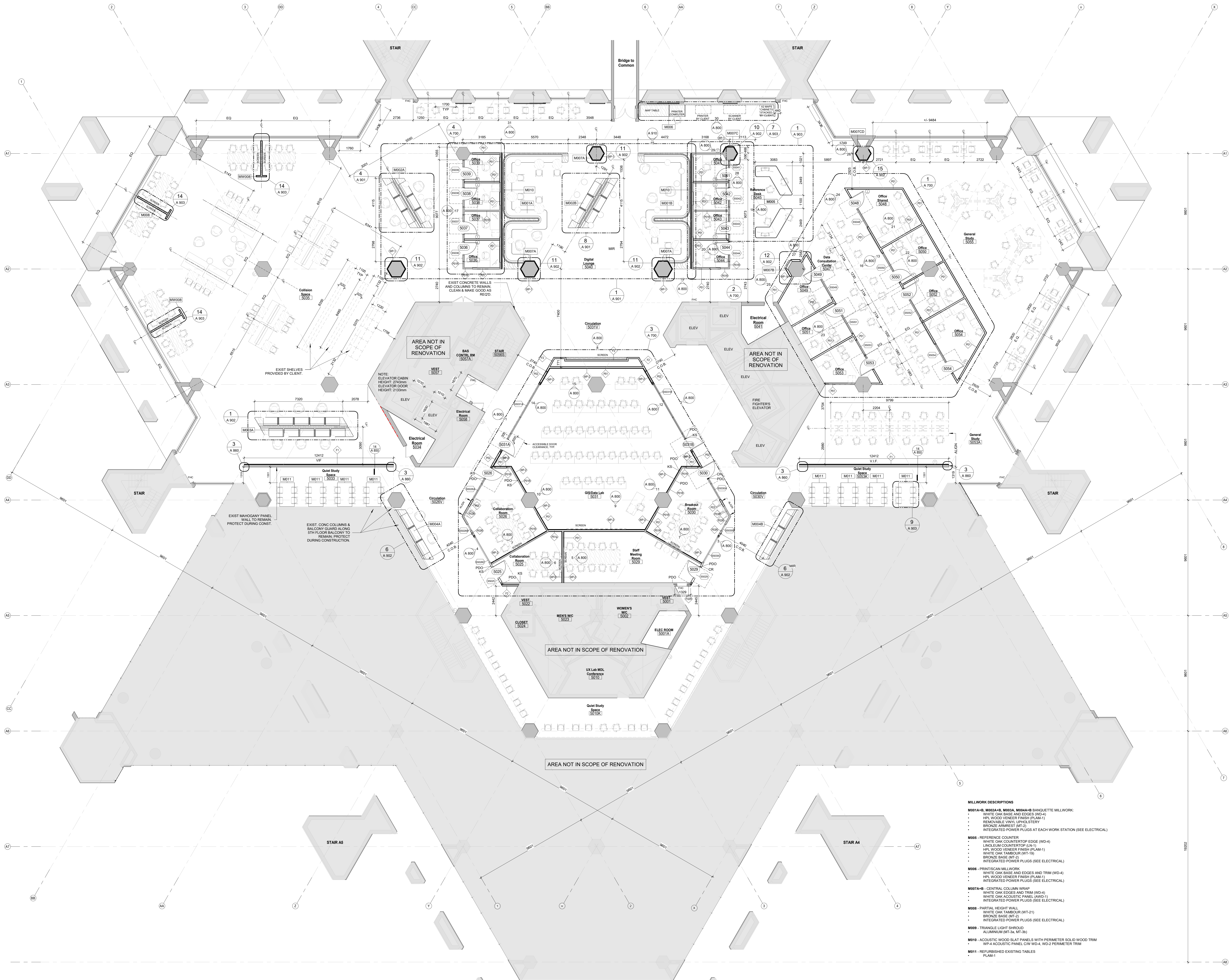
No. Date Issue/Revision

**Robarts 5th Floor
Renovation**

Title:
L05 Floor Plan

Project No. 2322 Scale As indicated
Drawing No.

A 101



- MILLWORK DESCRIPTIONS**
- M001A-B, M002A-B, M003A, M004A-B** BANQUETTE MILLWORK:
- WHITE OAK BASE AND EDGES (WD-4)
 - HPL WOOD VENEER FINISH (PLAM-1)
 - REMOVABLE VINYL UPHOLSTERY
 - BRONZE ARMREST (WT-2)
 - INTEGRATED POWER PLUGS AT EACH WORK STATION (SEE ELECTRICAL)
- M005** - REFERENCE COUNTER:
- WHITE OAK COUNTERTOP EDGE (WD-4)
 - LINOLEUM COUNTERTOP (LN-1)
 - HPL WOOD VENEER FINISH (PLAM-1)
 - WHITE OAK TAMBOUR (WT-10)
 - BRONZE BASE (WT-2)
 - INTEGRATED POWER PLUGS (SEE ELECTRICAL)
- M006** - PRINTS/CAN MILLWORK:
- WHITE OAK BASE AND EDGES AND TRIM (WD-4)
 - HPL WOOD VENEER FINISH (PLAM-1)
 - INTEGRATED POWER PLUGS (SEE ELECTRICAL)
- M007A-B** - CENTRAL COLUMN WRAP:
- WHITE OAK EDGES AND TRIM (WD-4)
 - WHITE OAK BANQUETTE PANEL (WB-1)
 - INTEGRATED POWER PLUGS (SEE ELECTRICAL)
- M008** - PARTIAL HEIGHT WALL:
- WHITE OAK TAMBOUR (WT-2)
 - BRONZE BASE (WT-2)
 - INTEGRATED POWER PLUGS (SEE ELECTRICAL)
- M009** - TRIANGLE LIGHT SHROUD:
- ALUMINIUM (MT-34, MT-35)
- M010** - ACOUSTIC WOOD SLAT PANELS WITH PERIMETER SOLID WOOD TRIM:
- WP-4 ACOUSTIC PANEL CW WD-4, WD-2 PERIMETER TRIM
- M011** - REBUSHED EXISTING TABLES:
- PLAM-1

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GENERAL FINISH NOTES

1. ALL NEW AND EXISTING PARTITIONS AND BULKHEADS TO BE PAINTED PT-1 U.N.O.
2. B-1 (BLACK) WALL BASE TO BE PROVIDED ON THE CORRIDOR SIDE OF NEW AND EXISTING PARTITIONS U.N.O. ON FINISH PLAN. B-2 (WHITE) WALL BASE TO BE PROVIDED ON THE ROOM SIDE OF NEW AND EXISTING PARTITIONS U.N.O. ON FINISH PLAN.
3. ALL EXISTING AND NEW EXPOSED DUCTWORK AND MECHANICAL PIPES TO BE PAINTED PT-4 U.N.O.
4. ALL EXISTING DOORS AND FRAMES TO REMAIN TO BE PAINTED U.N.O. REMOVE HARDWARE, AND SIGNAGE. CLEAN AND REINSTALL.
5. APPLIED WALL BASE NOT REQUIRED AT EXISTING CONCRETE COLUMNS AND CONCRETE WALLS.

SYMBOLS AND ABBREVIATIONS

- ALLOW FOR APPROXIMATELY 25mm OF CEMENTITIOUS UNDERLAYMENT IN INDICATED AREAS IN ADDITION TO THE MINIMUM REQUIRED TO PREP FLOOR SUBSTRATE TO RECEIVE NEW CARPET. REFERS TO SPECIFICATIONS.
- PROVIDE RUBBER RESISTANT GYPSUM BOARD UP TO 348mm (10') ON CORRIDOR SIDE OF ALL NEW AND REFINISHED PARTITIONS.
- CPT-1 HALF-LAP PATTERN INSTALLATION. SEE FINISH PLAN FOR PATTERN ORIENTATION.
- GREY FILL ON PLANS REPRESENTS AREAS NOT IN SCOPE OF RENOVATION. TYPICAL.

8	20250127	RE-ISSUED FOR CONSTRUCTION
7	20241203	ISSUED FOR CONSTRUCTION
6	20240927	ISSUED FOR TENDER
5	20240816	ISSUED FOR BUILDING PERMIT
4	20240806	ISSUED FOR 100% CD
3	20240429	ISSUED FOR 80% CD COSTING
2	20231213	ISSUED FOR DD CLIENT REVIEW
1	20231122	ISSUED FOR DD COSTING & REVIEW

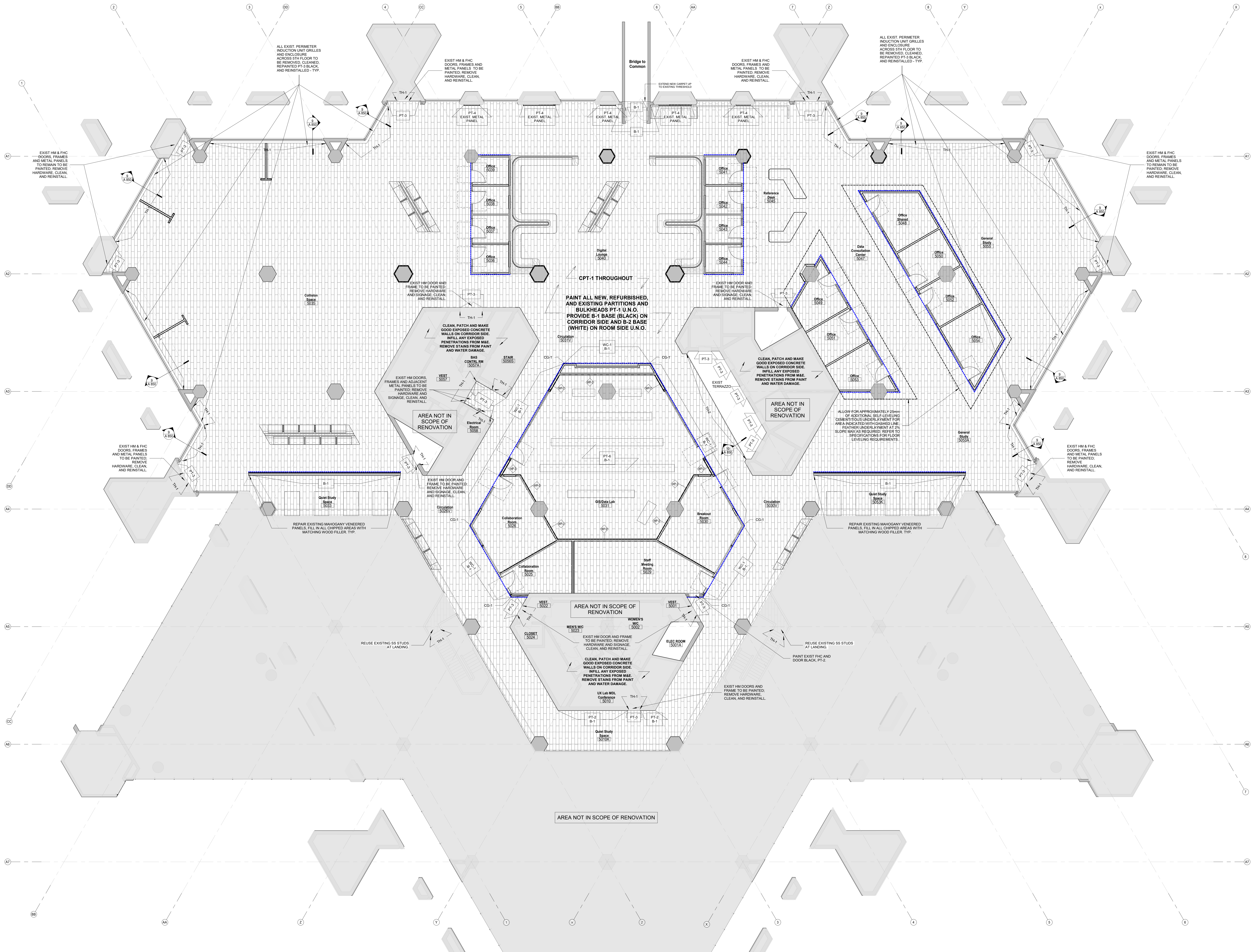
No.	Date	Issue/Revision
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Robarts 5th Floor Renovation

Title:
L05 Finish Floor Plan

Project No. 2322 Scale As indicated
Drawing No.

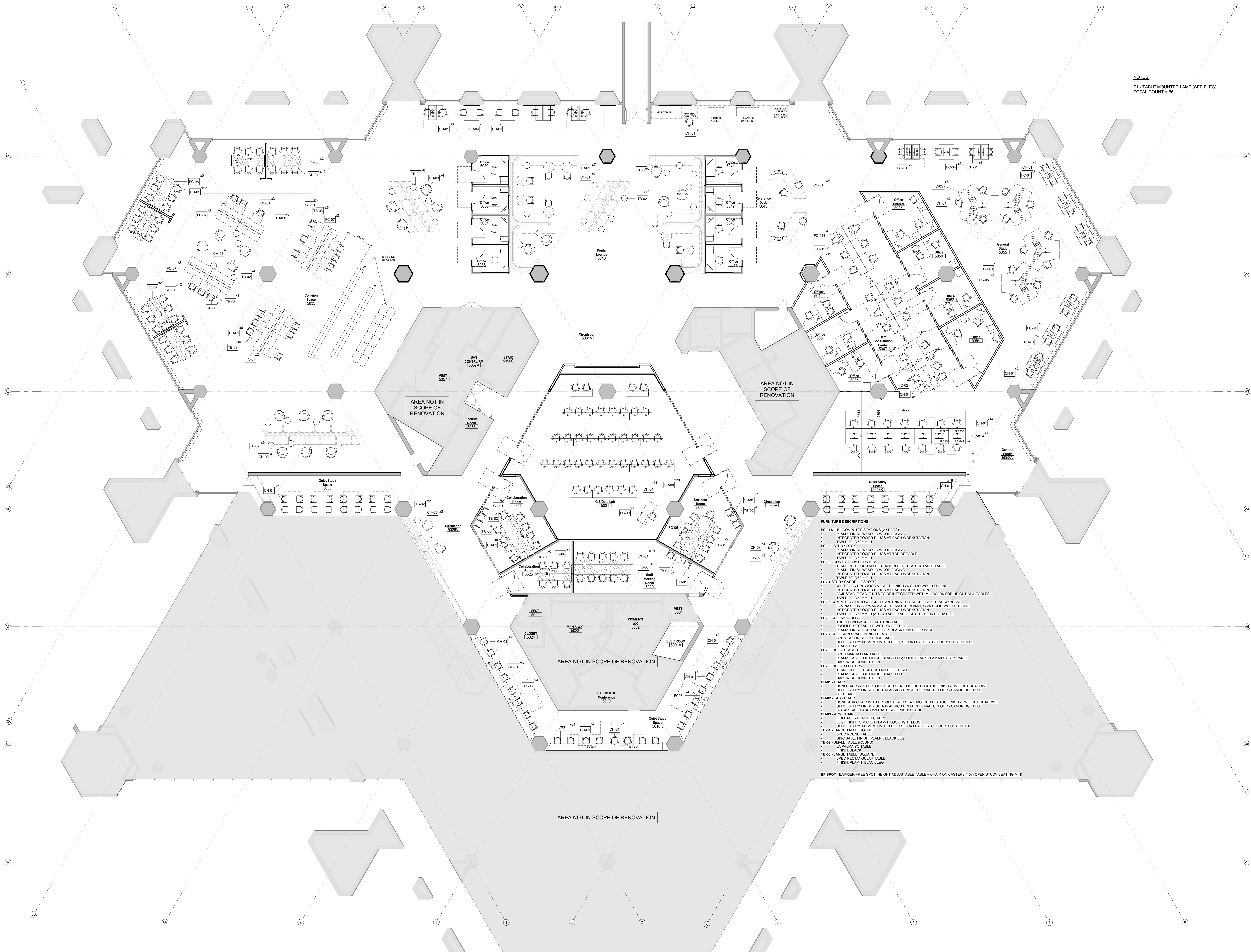
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GENERAL FINISH NOTES

1. FURNITURE SYSTEMS TO BE PROVIDED BY OWNER. CONTRACTOR TO COORDINATE ELECTRICAL, AV, MECHANICAL, AND ARCHITECTURAL SCOPE WITH FURNITURE SYSTEMS LAYOUT AS REQUIRED.

NOTES:
T1 - TABLE MOUNTED LAMP (SEE ELEC)
TOTAL COUNT = 66



- FURNITURE DESCRIPTIONS**
- FC-01A - B - COMPUTER STATIONS (2 SPOTS):**
 - PLAM-1 FINISH W/ SOLID WOOD EDGING
 - INTEGRATED POWER PLUGS AT EACH WORKSTATION
 - TABLE 30" (762mm) H
 - FC-02 - STUDY DESK:**
 - PLAM-1 FINISH W/ SOLID WOOD EDGING
 - INTEGRATED POWER PLUGS AT TOP OF TABLE
 - TABLE 30" (762mm) H
 - FC-03 - CONT. STUDY COUNTER:**
 - TEKNOX THESS TABLE - TEKNOX HEIGHT ADJUSTABLE TABLE
 - PLAM-1 FINISH W/ SOLID WOOD EDGING
 - INTEGRATED POWER PLUGS AT EACH WORKSTATION
 - TABLE 30" (762mm) H
 - FC-04 STUDY CARREL (2 SPOTS):**
 - WHITE OAK HPL WOOD VENEER FINISH W/ SOLID WOOD EDGING
 - INTEGRATED POWER PLUGS AT EACH WORKSTATION
 - ADJUSTABLE TABLE KITS TO BE INTEGRATED WITH MILLWORK FOR HEIGHT ADJ. TABLES
 - TABLE 30" (762mm) H
 - FC-05 COMPUTER STATIONS - KINKAL ANTENNA TELESCOPE 120" TRIAD W/ BEAM:**
 - LAMINATE FINISH, WARMASH TO MATCH PLAM-1 C/W SOLID WOOD EDGING
 - INTEGRATED POWER PLUGS AT EACH WORKSTATION
 - TABLE 30" (762mm) H ADJUSTABLE TABLE KITS TO BE INTEGRATED
 - FC-06 COLLAB. TABLES:**
 - THREE WORKSHELF MEETING TABLE
 - PROFILE: RECTANGLE WITH KNIFE EDGE
 - PLAM-1 FINISH FOR TABLETOP, BLACK FINISH FOR BASE
 - FC-07 COLLISION SPACE BENCH SEAT:**
 - SPEC TALLOR BOOTH HIGH BACK
 - UPHOLSTERY: MOMENTUM TEXTILES, SILCA LEATHER, COLOUR: EUCALYPTUS
 - BLACK LEGS
 - FC-08 GIS LAB TABLES:**
 - SPEC MANHATTAN TABLE
 - PLAM-1 TABLETOP FINISH, BLACK LEG, SOLID BLACK PLAM-MODESTY PANEL
 - HARDWARE CONNECTION
 - FC-09 GIS LAB LECTERN:**
 - TEKNOX HEIGHT ADJUSTABLE LECTERN
 - PLAM-1 TABLETOP FINISH, BLACK LEG
 - HARDWARE CONNECTION
 - CH-01 - CHAIR:**
 - DOH CHAIR WITH UPHOLSTERED SEAT - MOLDED PLASTIC FINISH - TWILIGHT SHADOW
 - UPHOLSTERY FINISH - ULTRAFABRICS BRISA ORIGINAL - COLOUR - CAMBRIDGE BLUE
 - SLED BASE
 - CH-02 - TASK CHAIR:**
 - DOH TASK CHAIR WITH UPHOLSTERED SEAT - MOLDED PLASTIC FINISH - TWILIGHT SHADOW
 - UPHOLSTERY FINISH - ULTRAFABRICS BRISA ORIGINAL - COLOUR - CAMBRIDGE BLUE
 - 5-STAR TASK BASE C/W CASTERS, FINISH: BLACK
 - CH-03 - ARM CHAIR:**
 - KEL HAUER PONDER CHAIR
 - LEG FINISH TO MATCH PLAM-1, LOCKTIGHT LEGS
 - UPHOLSTERY: MOMENTUM TEXTILES SILCA LEATHER, COLOUR: EUCALYPTUS
 - TB-01 - LARGE TABLE (ROUND):**
 - SPEC ROUND TABLE
 - DISC BASE, FINISH: PLAM-1, BLACK LEG
 - TB-02 - SMALL TABLE (ROUND):**
 - LA PALMA YO TABLE
 - FINISH: BLACK
 - TB-03 - LARGE TABLE (SQUARE):**
 - SPEC RECTANGULAR TABLE
 - FINISH: PLAM-1, BLACK LEG
- BF SPOT - BARRIER-FREE SPOT - HEIGHT ADJUSTABLE TABLE + CHAIR ON CASTERS (10% OPEN STUDY SEATING MIN)**

9	20250127	RE-ISSUED FOR CONSTRUCTION
8	20250127	ISSUED FOR SH-001
7	20241203	ISSUED FOR CONSTRUCTION
6	20240927	ISSUED FOR TENDER
5	20240816	ISSUED FOR BUILDING PERMIT
4	20240806	ISSUED FOR 100% CD
3	20240429	ISSUED FOR 80% CD COSTING
2	20231213	ISSUED FOR DD CLIENT REVIEW
1	20231128	ISSUED FOR DD COSTING & REVIEW

No.	Date	Issue/Revision

**Robarts 5th Floor
Renovation**

Title:
L05 Furniture Floor Plan

Project No. 2322 Scale As indicated
Drawing No.

POWER PLAN LEGEND:

- 1 FURNITURE/MILLWORK MOUNTED POWER RECEPTACLE. REFER TO ELEC.
- 2 NOTE: ALL RECEPTACLES TO BE COORDINATED WITH EXISTING RACEWAY SYSTEM & MILLWORK.
- 3 ELECTRICAL BOX W/ AIPower COMBO RECEPTACLE FOR PLUG-IN POWER. REFER TO ELEC.
- 4 NOTE: ALL RECEPTACLES TO BE COORDINATED WITH EXISTING RACEWAY SYSTEM & MILLWORK.
- 5 RECESSED FLOOR BOX FOR HARDWARE POWER CONNECTION & DATA CABLEING. REFER TO ELEC.
- 6 NOTE: ALL RECEPTACLES TO BE COORDINATED WITH EXISTING RACEWAY SYSTEM & MILLWORK.
- 7 EXISTING RECESSED FLOOR BOX FOR HARDWARE POWER CONNECTION & DATA CABLEING. REFER TO ELEC.
- 8 NOTE: ALL RECEPTACLES TO BE COORDINATED WITH EXISTING RACEWAY SYSTEM & MILLWORK.
- 9 CONDUIT STUBS FOR HARDWARE POWER CONNECTIONS.
- 10 NOTE: ALL TO BE COORDINATED WITH EXISTING RACEWAY SYSTEM & MILLWORK.
- 11 WALL MOUNTED RECEPTACLE. REFER TO ELECTRICAL TYPE.
- 12 EXISTING WALL MOUNTED RECEPTACLE. REFER TO ELECTRICAL.
- 13 WALL MOUNTED VOICEDATA RECEPTACLE. REFER TO ELECTRICAL.
- 14 EXISTING WALL MOUNTED VOICEDATA RECEPTACLE. REFER TO ELECTRICAL.
- 15 LIGHT SWITCH. SEE ELECTRICAL.
- 16 POWER DOOR OPERATOR ACTUATOR. SEE HARDWARE SCHEDULE & ELECTRICAL.

NOTE: "F" DENOTES RECEPTACLE/ELECTRICAL BOXES PROVIDED AS PART OF FURNITURE PACKAGE. CONNECT FURNITURE RECEPTACLES AS REQUIRED. SEE ELEC.

- 1 APPROXIMATE LOCATION OF EXISTING IN-SLAB RACEWAY SYSTEM. SEE ELEC.
- 2 APPROX EXTENT OF TRENCHING WITHIN EXISTING CONC TOPPING.
- 3 APPROX EXTENT OF ELEC AND/OR WIRING INSTALLED WITHIN EXISTING PERIMETER GRILLES. SEE ELEC.
- 4 APPROX EXTENT OF CEILING MOUNTED WIRING. SEE ELEC.
- 5 APPROX EXTENT OF SURFACE RACEWAY. SEE ELEC.

POWER PLAN GENERAL NOTES

- 1) ALL POWER AND DATA REQUIREMENTS ARE TO BE COORDINATED WITH ELECTRICAL AND AV CONSULTANTS.
- 2) GO TO REVIEW EXACT LOCATION OF FLOOR BOXES AND RACEWAY OUTLETS W/ CONSULTANT TEAM PRIOR TO TRENCHING CONCRETE OR CUTTING WIREMOLD.
- 3) REFER TO ENLARGED PLANS AND INTERIOR ELEVATIONS FOR SWITCHES, PDQ, AND THERMOSTAT LOCATIONS.

POWER PLAN NOTES

- 1) DEMOLISH EXISTING DECOMMISSIONED ELECTRICAL FLOOR BOXES. ALL ASSOCIATED WIRING AND EXPOSED CONDUIT FILL FLOOR BOX OPENING WITH SELF-LEVELLING GEMENT/UNDERLAYMENT. REFER TO TYPICAL DETAIL.
- 2) HARDWARE NEW FURNITURE INTO EXISTING ELECTRICAL FLOOR BOXES.
- 3) HARDWARE MILLWORK INTO EXISTING ELECTRICAL FLOOR BOXES. MODIFY FLOOR BOXES AS REQUIRED TO RECEIVE AV/DATA CONNECTIONS FROM ADJACENT PERIMETER FLOOR GRILLES. ALLOW FOR TRENCHING TO CONNECT FLOOR BOXES TO ADJACENT PERIMETER GRILLES AS REQUIRED.
- 4) DEMOLISH EXISTING FLOOR BOXES. RE-USE EXISTING POWER CONDUIT WIRING THROUGH PERIMETER FLOOR GRILLES. PROVIDE TRENCHING FROM PERIMETER FLOOR GRILLES AS REQUIRED FOR NEW COMMUNICATIONS CONDUIT. PROVIDE POWER AND COMMUNICATIONS STUB UPS TERMINATING INSIDE MILLWORK AS REQUIRED. SEE ELECTRICAL & AV.
- 5) MODIFY EXISTING FLOOR BOXES FOR HARDWARE POWER AS REQUIRED TO EXTEND OUTLETS TO THE FACE OF MILLWORK. SEE ELECTRICAL.
- 6) SEE INTERIOR ELEVATIONS FOR WALL POWER & COMMUNICATIONS RECEPTACLES. LOCATING DIMENSIONS. REFER TO ELECTRICAL, AV, AND TYPICAL MOUNTING HEIGHTS.
- 7) REPLACE EXISTING FLOOR BOX FOR HARDWARE POWER WITH ELECTRICAL FLOOR BOX FOR PLUG-IN POWER. PROVIDE ADDITIONAL TRENCHING AS REQUIRED. REFER TO 2 & 3 & 4 & 5 & 6 & 7 & 8 & 9 & 10 & 11 & 12 & 13 & 14 & 15 & 16 & 17 & 18 & 19 & 20 & 21 & 22 & 23 & 24 & 25 & 26 & 27 & 28 & 29 & 30 & 31 & 32 & 33 & 34 & 35 & 36 & 37 & 38 & 39 & 40 & 41 & 42 & 43 & 44 & 45 & 46 & 47 & 48 & 49 & 50 & 51 & 52 & 53 & 54 & 55 & 56 & 57 & 58 & 59 & 60 & 61 & 62 & 63 & 64 & 65 & 66 & 67 & 68 & 69 & 70 & 71 & 72 & 73 & 74 & 75 & 76 & 77 & 78 & 79 & 80 & 81 & 82 & 83 & 84 & 85 & 86 & 87 & 88 & 89 & 90 & 91 & 92 & 93 & 94 & 95 & 96 & 97 & 98 & 99 & 100 & 101 & 102 & 103 & 104 & 105 & 106 & 107 & 108 & 109 & 110 & 111 & 112 & 113 & 114 & 115 & 116 & 117 & 118 & 119 & 120 & 121 & 122 & 123 & 124 & 125 & 126 & 127 & 128 & 129 & 130 & 131 & 132 & 133 & 134 & 135 & 136 & 137 & 138 & 139 & 140 & 141 & 142 & 143 & 144 & 145 & 146 & 147 & 148 & 149 & 150 & 151 & 152 & 153 & 154 & 155 & 156 & 157 & 158 & 159 & 160 & 161 & 162 & 163 & 164 & 165 & 166 & 167 & 168 & 169 & 170 & 171 & 172 & 173 & 174 & 175 & 176 & 177 & 178 & 179 & 180 & 181 & 182 & 183 & 184 & 185 & 186 & 187 & 188 & 189 & 190 & 191 & 192 & 193 & 194 & 195 & 196 & 197 & 198 & 199 & 200 & 201 & 202 & 203 & 204 & 205 & 206 & 207 & 208 & 209 & 210 & 211 & 212 & 213 & 214 & 215 & 216 & 217 & 218 & 219 & 220 & 221 & 222 & 223 & 224 & 225 & 226 & 227 & 228 & 229 & 230 & 231 & 232 & 233 & 234 & 235 & 236 & 237 & 238 & 239 & 240 & 241 & 242 & 243 & 244 & 245 & 246 & 247 & 248 & 249 & 250 & 251 & 252 & 253 & 254 & 255 & 256 & 257 & 258 & 259 & 260 & 261 & 262 & 263 & 264 & 265 & 266 & 267 & 268 & 269 & 270 & 271 & 272 & 273 & 274 & 275 & 276 & 277 & 278 & 279 & 280 & 281 & 282 & 283 & 284 & 285 & 286 & 287 & 288 & 289 & 290 & 291 & 292 & 293 & 294 & 295 & 296 & 297 & 298 & 299 & 300 & 301 & 302 & 303 & 304 & 305 & 306 & 307 & 308 & 309 & 310 & 311 & 312 & 313 & 314 & 315 & 316 & 317 & 318 & 319 & 320 & 321 & 322 & 323 & 324 & 325 & 326 & 327 & 328 & 329 & 330 & 331 & 332 & 333 & 334 & 335 & 336 & 337 & 338 & 339 & 340 & 341 & 342 & 343 & 344 & 345 & 346 & 347 & 348 & 349 & 350 & 351 & 352 & 353 & 354 & 355 & 356 & 357 & 358 & 359 & 360 & 361 & 362 & 363 & 364 & 365 & 366 & 367 & 368 & 369 & 370 & 371 & 372 & 373 & 374 & 375 & 376 & 377 & 378 & 379 & 380 & 381 & 382 & 383 & 384 & 385 & 386 & 387 & 388 & 389 & 390 & 391 & 392 & 393 & 394 & 395 & 396 & 397 & 398 & 399 & 400 & 401 & 402 & 403 & 404 & 405 & 406 & 407 & 408 & 409 & 410 & 411 & 412 & 413 & 414 & 415 & 416 & 417 & 418 & 419 & 420 & 421 & 422 & 423 & 424 & 425 & 426 & 427 & 428 & 429 & 430 & 431 & 432 & 433 & 434 & 435 & 436 & 437 & 438 & 439 & 440 & 441 & 442 & 443 & 444 & 445 & 446 & 447 & 448 & 449 & 450 & 451 & 452 & 453 & 454 & 455 & 456 & 457 & 458 & 459 & 460 & 461 & 462 & 463 & 464 & 465 & 466 & 467 & 468 & 469 & 470 & 471 & 472 & 473 & 474 & 475 & 476 & 477 & 478 & 479 & 480 & 481 & 482 & 483 & 484 & 485 & 486 & 487 & 488 & 489 & 490 & 491 & 492 & 493 & 494 & 495 & 496 & 497 & 498 & 499 & 500 & 501 & 502 & 503 & 504 & 505 & 506 & 507 & 508 & 509 & 510 & 511 & 512 & 513 & 514 & 515 & 516 & 517 & 518 & 519 & 520 & 521 & 522 & 523 & 524 & 525 & 526 & 527 & 528 & 529 & 530 & 531 & 532 & 533 & 534 & 535 & 536 & 537 & 538 & 539 & 540 & 541 & 542 & 543 & 544 & 545 & 546 & 547 & 548 & 549 & 550 & 551 & 552 & 553 & 554 & 555 & 556 & 557 & 558 & 559 & 560 & 561 & 562 & 563 & 564 & 565 & 566 & 567 & 568 & 569 & 570 & 571 & 572 & 573 & 574 & 575 & 576 & 577 & 578 & 579 & 580 & 581 & 582 & 583 & 584 & 585 & 586 & 587 & 588 & 589 & 590 & 591 & 592 & 593 & 594 & 595 & 596 & 597 & 598 & 599 & 600 & 601 & 602 & 603 & 604 & 605 & 606 & 607 & 608 & 609 & 610 & 611 & 612 & 613 & 614 & 615 & 616 & 617 & 618 & 619 & 620 & 621 & 622 & 623 & 624 & 625 & 626 & 627 & 628 & 629 & 630 & 631 & 632 & 633 & 634 & 635 & 636 & 637 & 638 & 639 & 640 & 641 & 642 & 643 & 644 & 645 & 646 & 647 & 648 & 649 & 650 & 651 & 652 & 653 & 654 & 655 & 656 & 657 & 658 & 659 & 660 & 661 & 662 & 663 & 664 & 665 & 666 & 667 & 668 & 669 & 670 & 671 & 672 & 673 & 674 & 675 & 676 & 677 & 678 & 679 & 680 & 681 & 682 & 683 & 684 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GENERAL RCP NOTES

1. ALL NEW AND EXISTING EXPOSED DUCTWORK, PIPES, AND CONDUITS TO BE PAINTED PT-4 U.N.O.
2. ALL ELECTRICAL AND AV PENETRATIONS TO AND FROM ELECTRICAL ROOMS TO BE FIRE STOPPED AS REQUIRED TO MAINTAIN 1HR FIRE.
3. SEE ELECTRICAL FOR CEILING DEVICES. REFER TO ARCHITECTURE FOR DEVICE LOCATING DIMENSIONS.

SYMBOLS AND ABBREVIATIONS

- RB ROLLER BLINDS
- EX EXISTING FIXTURES TO REMAIN. RELAMP ALL EXISTING LIGHT FIXTURES THAT REQUIRE RELAMPING TO FUNCTION (APPROXIMATELY 20 FIXTURES)
- FILL IN EXISTING CONCRETE Baffle with GWS CEILING ASSEMBLY TO ENSURE ACOUSTIC SEAL FOR VERTICAL PARTITIONS. REFER TO SECTION DETAILS
- EXIST CT EXISTING CEILING TILE TO REMAIN. REPLACE DAMAGED TILES AS REQUIRED
- OS OCCUPANCY SENSOR. SEE ELEC. CENTER ON ACT TILE OR CONCRETE BEAM. U.N.O.
- 103mm (4") FIRE ALARM BELL. SEE ELEC.
- HEAT SENSOR. SEE ELEC.
- EXIT SIGN. SEE ELEC.
- HEAT SENSOR. SEE ELEC.
- CEILING MOUNTED SPEAKER. SEE ELEC. & AV.
- CEILING MOUNTED MICROPHONE. SEE ELEC. & AV.
- WIRELESS ACCESS POINT (WAP). SEE ELECTRICAL FOR INFRASTRUCTURE AND WIRING. WAP PROVIDED BY OWNER. INSTALLED BY CONTRACTOR.

RCP NOTES

1. EXISTING ACT CEILING AND LIGHT FIXTURES TO BE REMOVED AND RE-INSTALLED AS REQUIRED TO ALLOW FOR NEW ELECTRICAL CONDUIT TO AND FROM ELECTRICAL ROOM.
2. ALL ELECTRICAL AND AV PENETRATIONS TO AND FROM ELECTRICAL ROOMS TO BE FIRE STOPPED TO MAINTAIN 1HR FIRE RATING OF THE ROOM.
3. RELOCATED BELL ANTENNAS ABOVE ACT CEILING. COORDINATE WITH BELL AND OWNER AS REQUIRED.

SEPARATE PRICE ITEMS

1. PROVIDE SEPARATE PRICE FOR THE REMOVAL OF EXISTING ACOUSTIC CEILING TILE IN ZONES A, B, AND C AS SHOWN ON (SK-3) RCP SEPARATE PRICE DIAGRAM INCLUDE FOR MATERIAL, LABOUR AND WASTE FOR REMOVAL OF EXISTING 1"x1" CEILING TILE AND T-BAR GRID AND INSTALLATION OF NEW 2"x4" ACT-1. RETURN EXISTING CEILING TILES FOR REUSE AND RETURN TO OWNER.

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2	20231213	ISSUED FOR DD CLIENT REVIEW
1	20231122	ISSUED FOR DD COSTING & REVIEW

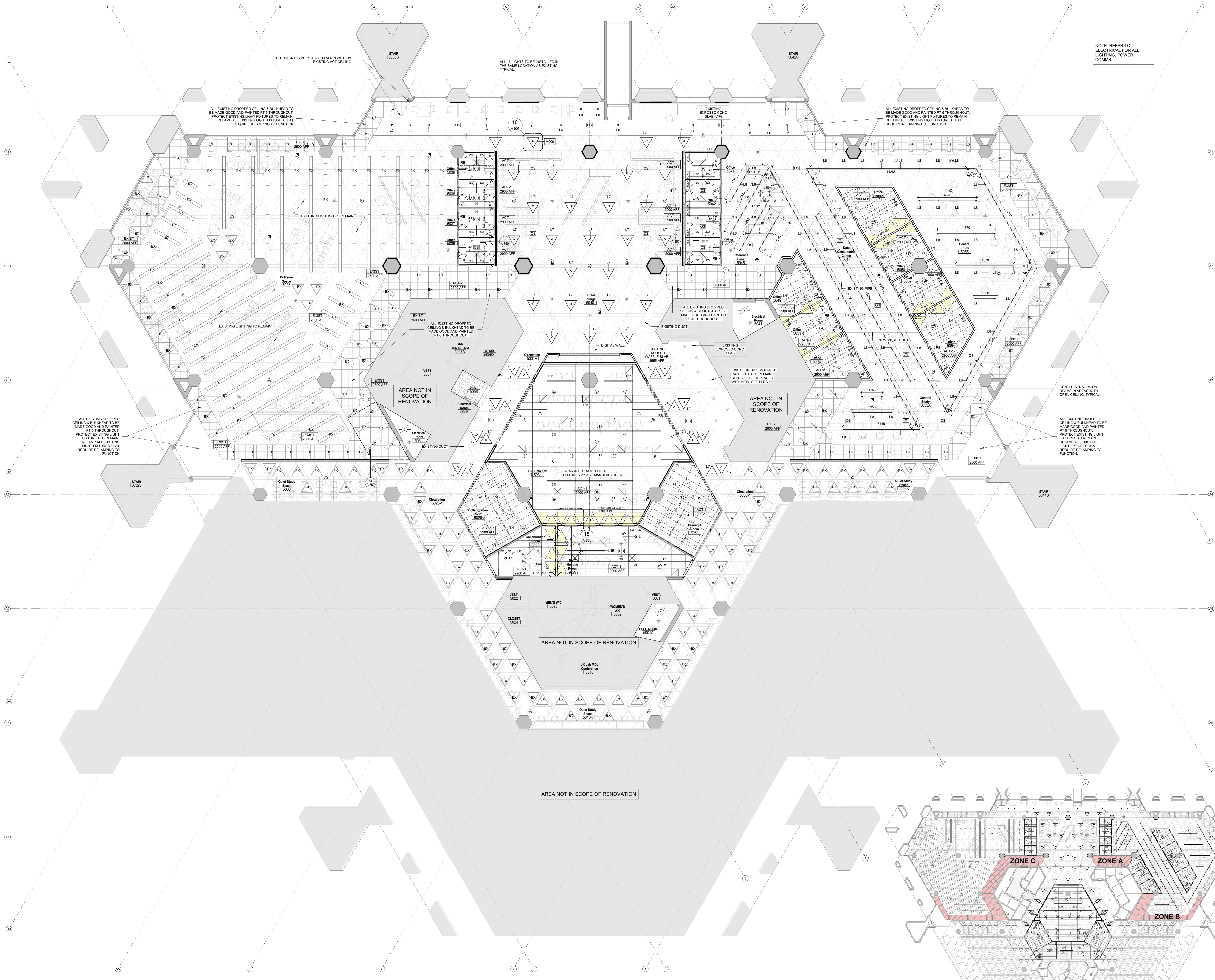
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Robarts 5th Floor Renovation

Title:
L05 Reflected Ceiling Plan

Project No. 2322 Scale As indicated
Drawing No.

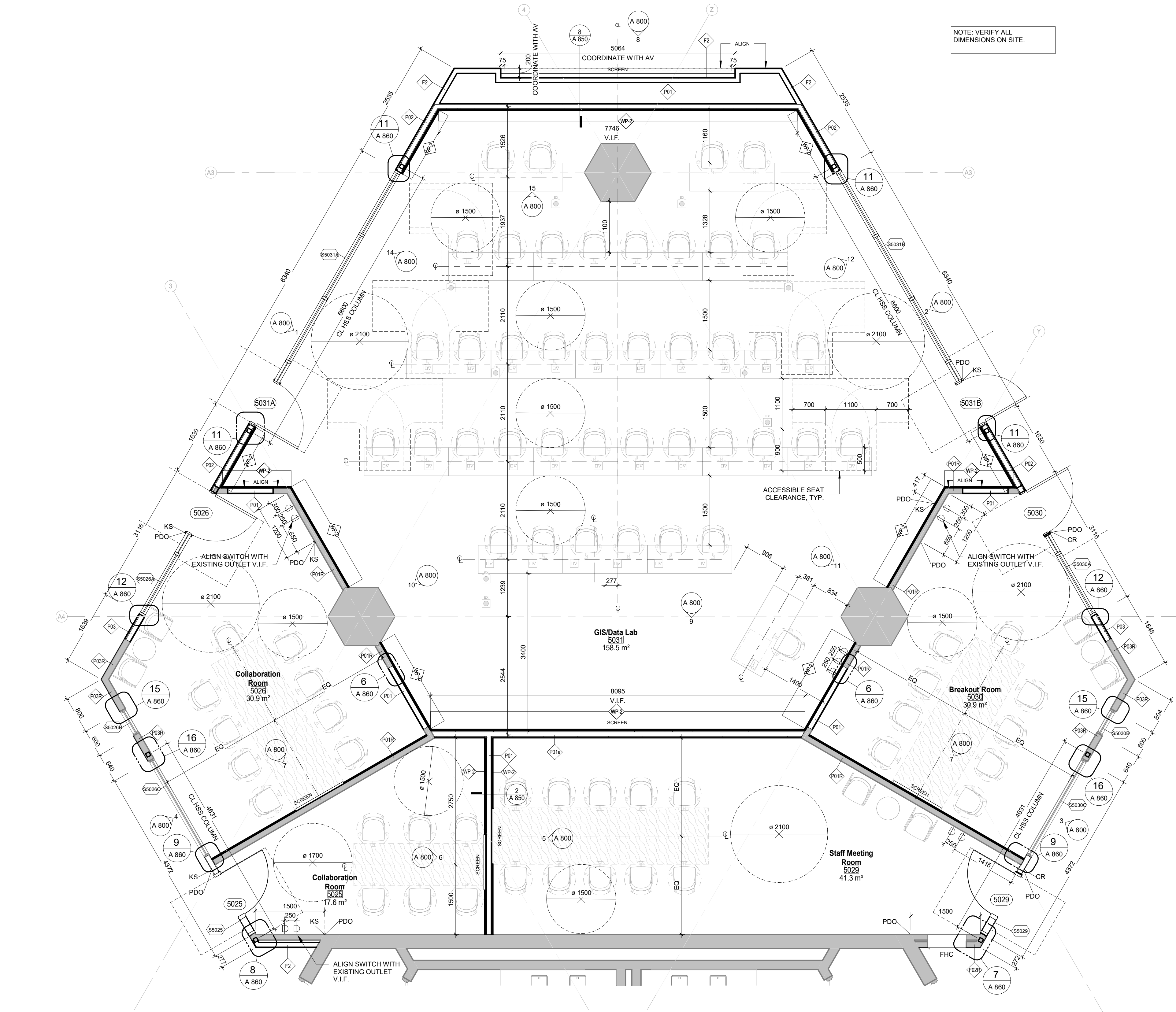
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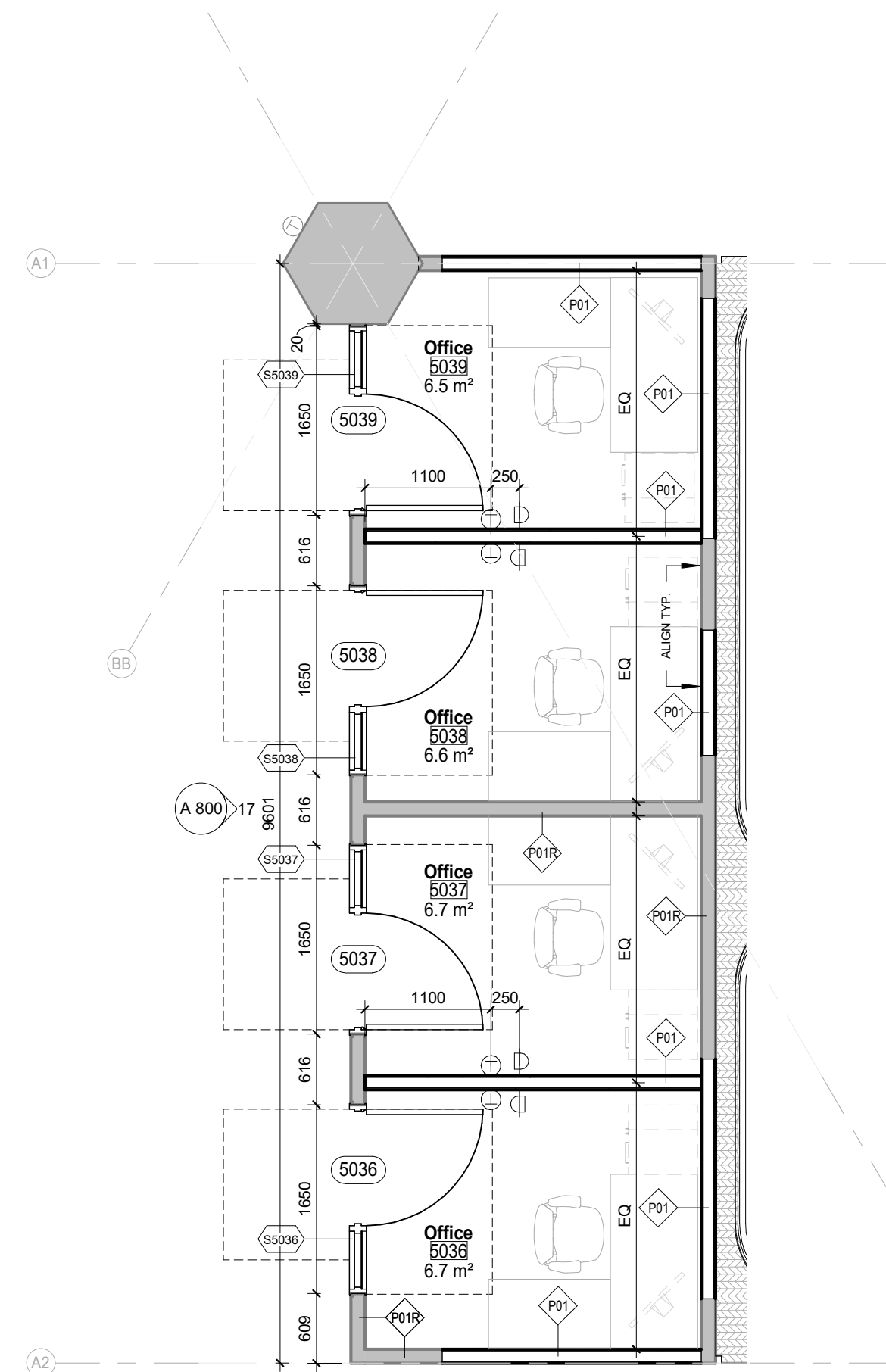
1 L05 RCP
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2 (SK-3) RCP Separate Price Diagram
1:300

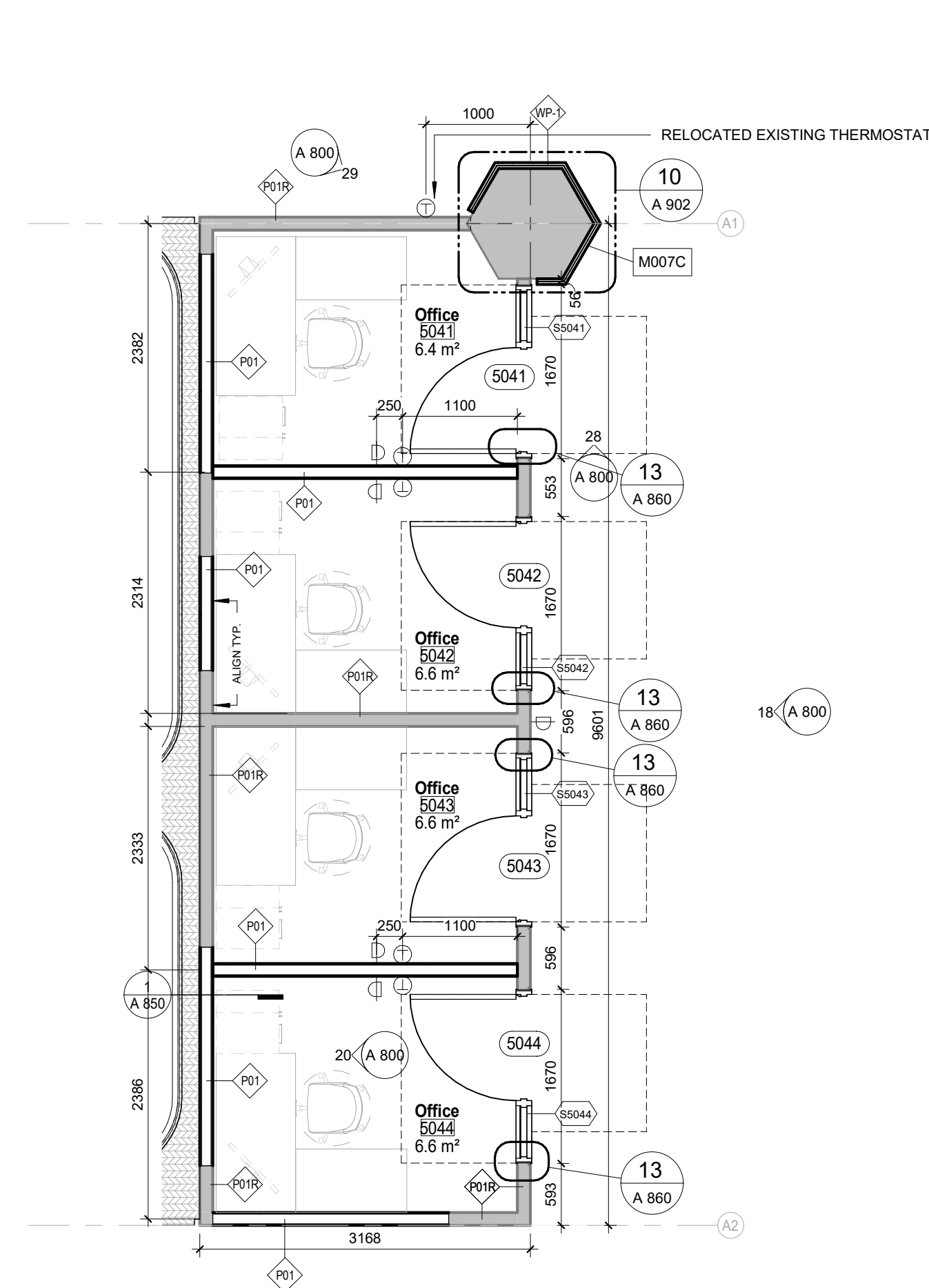
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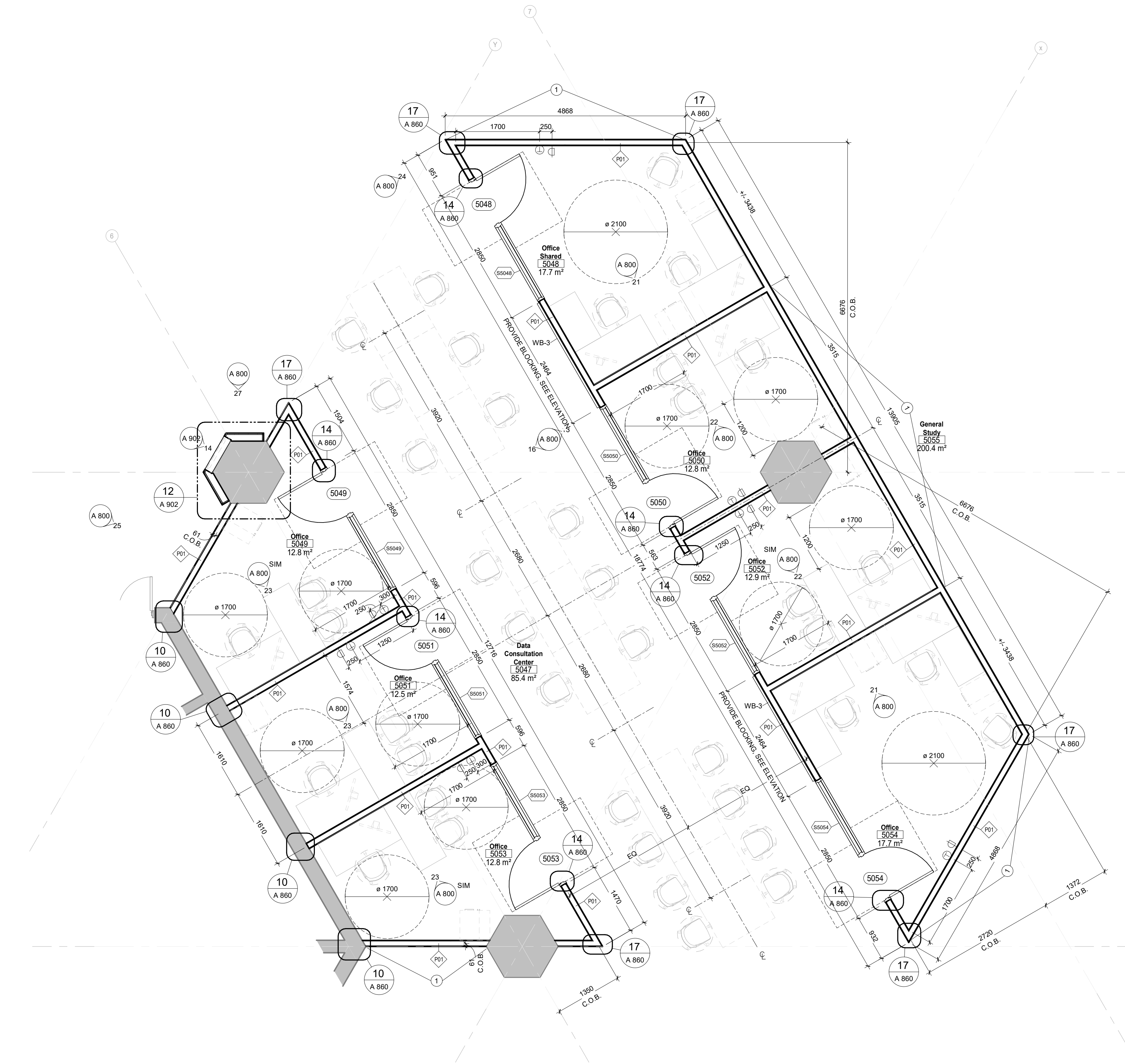
3 Enlarged Floor Plan - GIS Lab
1:50



4 Enlarged Plan - Offices
1:50



2 Enlarged Plan - Data Consultation Small Offices
1:50



1 Enlarged Plan - Data Consultation
1:50

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GENERAL PLAN NOTES

1. PAINT ALL NEW & EXISTING DRYWALL TO REMAIN THROUGHOUT. SEE FINISH PLAN.
2. ALL EXISTING CONCRETE SURFACES TO REMAIN. PROTECT, CLEAN & REPAIR AS REQ'D.
3. DIMENSIONS PROVIDED FOR NEW PARTITIONS ARE TO THE CENTERLINE OF THE METAL STUD. VERIFY ALL DIMENSIONS IN FIELD BEFORE PROCEEDING.
4. DIMENSIONS PROVIDED FOR EXISTING AND REFINISHED PARTITIONS ARE TO THE OPSUM BOARD FINISH OF THE PARTITION.

SYMBOLS AND ABBREVIATIONS

C.O.B. CENTER PARTITION ON EXISTING CONCRETE BEAM. REFER TO RCP. VERIFY PROVIDED DIMENSION IN FIELD.
PXXR PARTITION TAG FOR REFINISHED EXISTING PARTITIONS. REFER TO ASSEMBLY TYPES & DEMOLITION DRAWINGS.
PXX PARTITION TAG FOR NEW PARTITIONS. REFER TO ASSEMBLY TYPES.
SCREEN WALL/ML/WORK MOUNTED SCREEN. SEE AV AND ELECTRICAL. PROVIDE BLOCKING AS REQUIRED. COORDINATE POWER AND AV PROVISIONS WITH MOUNTING BRACKER LOCATION AS REQUIRED.
WB-# WALL MOUNTED WHITE BOARD. PROVIDED BY OWNER. REFER TO MATERIAL LEGEND FOR SIZES. PROVIDE BLOCKING AS REQUIRED.
T WALL MOUNTED THERMOSTAT. REFER TO MECHANICAL.
L LIGHT SWITCH. SEE ELECTRICAL.
PDO POWER DOOR OPERATOR ACTUATOR. SEE HARDWARE SCHEDULE & ELECTRICAL.
GREY FILL ON PLANS REPRESENTS AREAS NOT IN SCOPE OF THE RENOVATION. TYPICAL.

NOTES

1 CONTINUOUS BLOCKING FOR FUTURE DISPLAY/WALLWORK MOUNTING. PROVIDE 150mm TALL PL WOOD BLOCKING AT 750mm AFF.

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1 20231122 ISSUED FOR DD COSTING & REVIEW

No. Date Issue/Revision

Robarts 5th Floor
Renovation

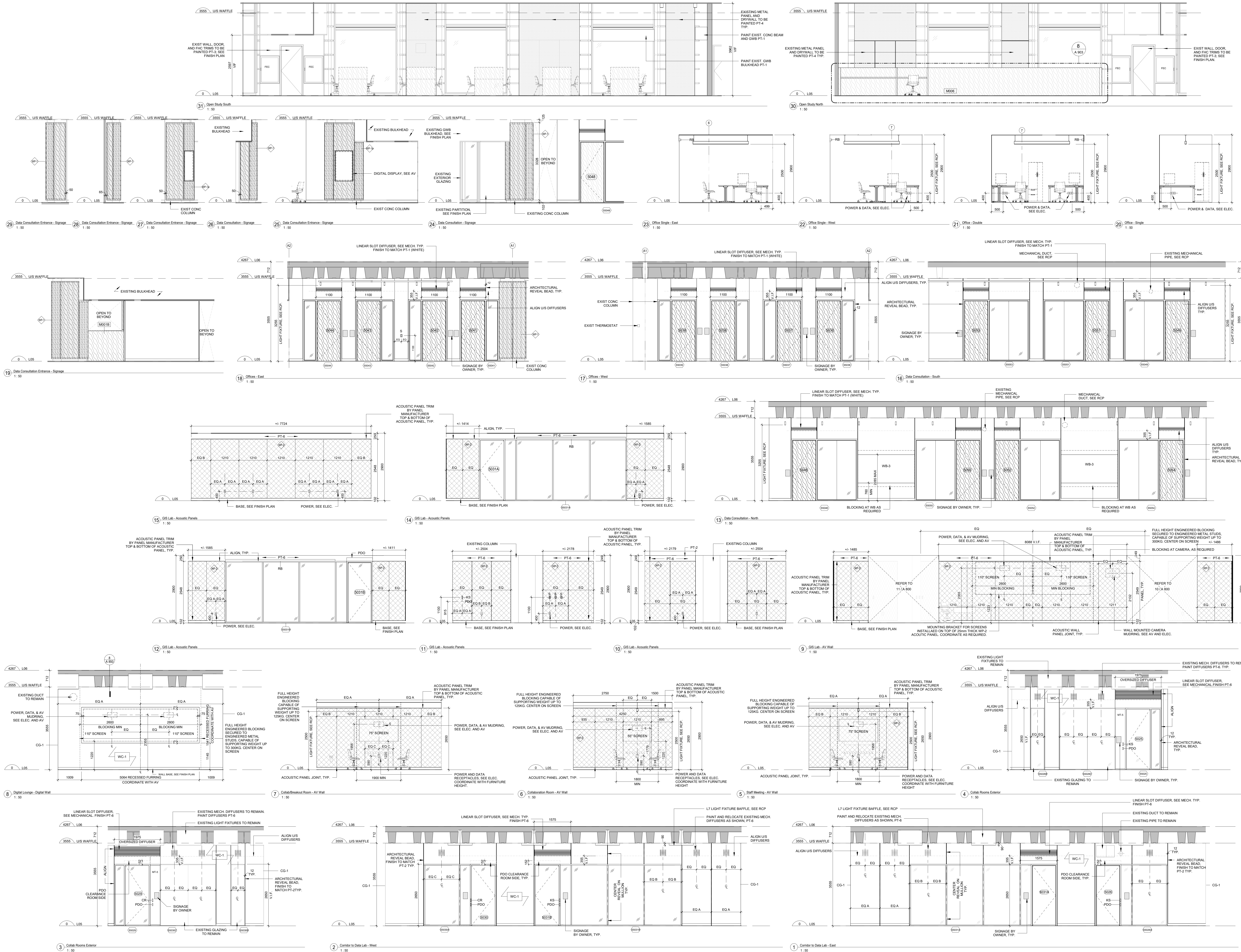
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Enlarged Drawings

Project No. 2322 Scale As indicated
Drawing No.

A 700

GENERAL ELEVATION NOTES

1. MATCH FINISH OF ALL WALL DIFFUSERS/GRILLES TO THE FINISH OF PARTITION DIFFUSERS/GRILLES ARE INSTALLED IN.
2. REFER TO THE FINISH PLAN AND TYPICAL FINISH NOTES FOR WALL PAINT AND BASE TYPES. ALL NEW REFINISHES AND APPLIED WALL BASE U.N.O.



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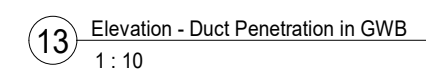
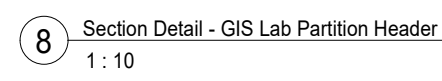
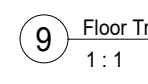
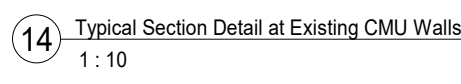
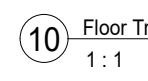
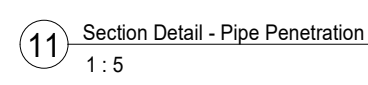
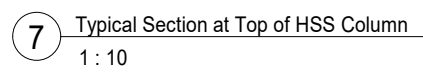
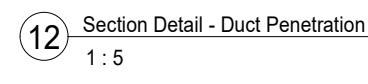
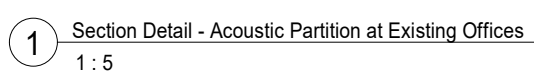
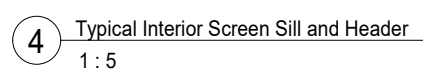
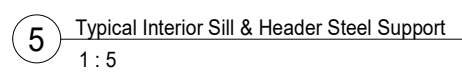
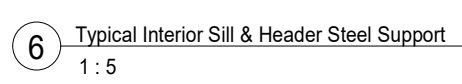
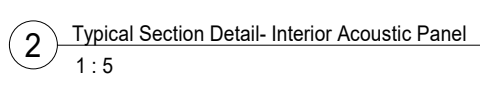
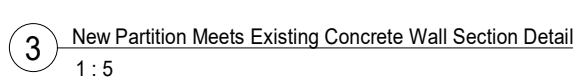
Roberts 5th Floor Renovation

Interior Elevations

Project No. 2322 Scale As indicated
Drawing No.

A 800

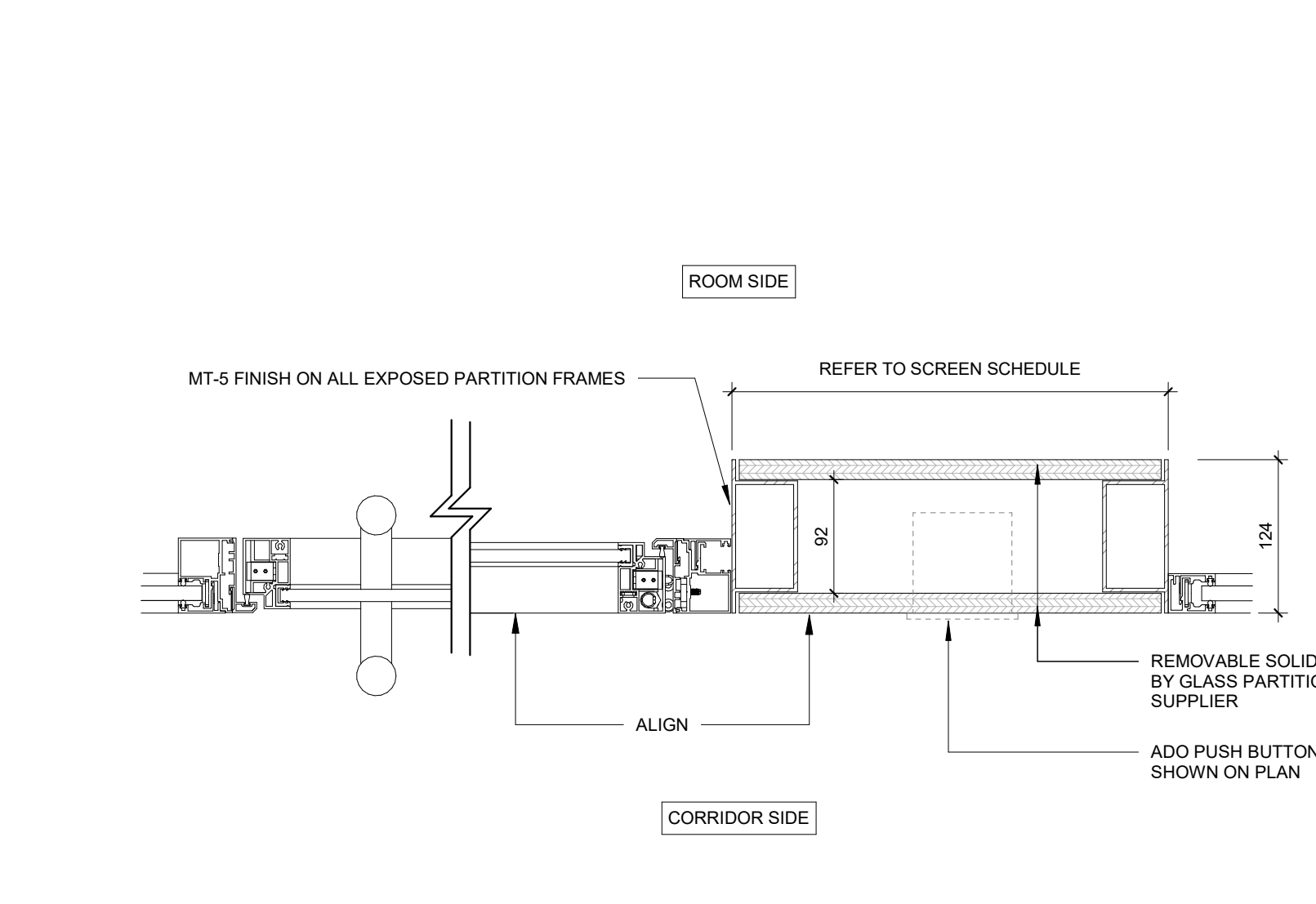
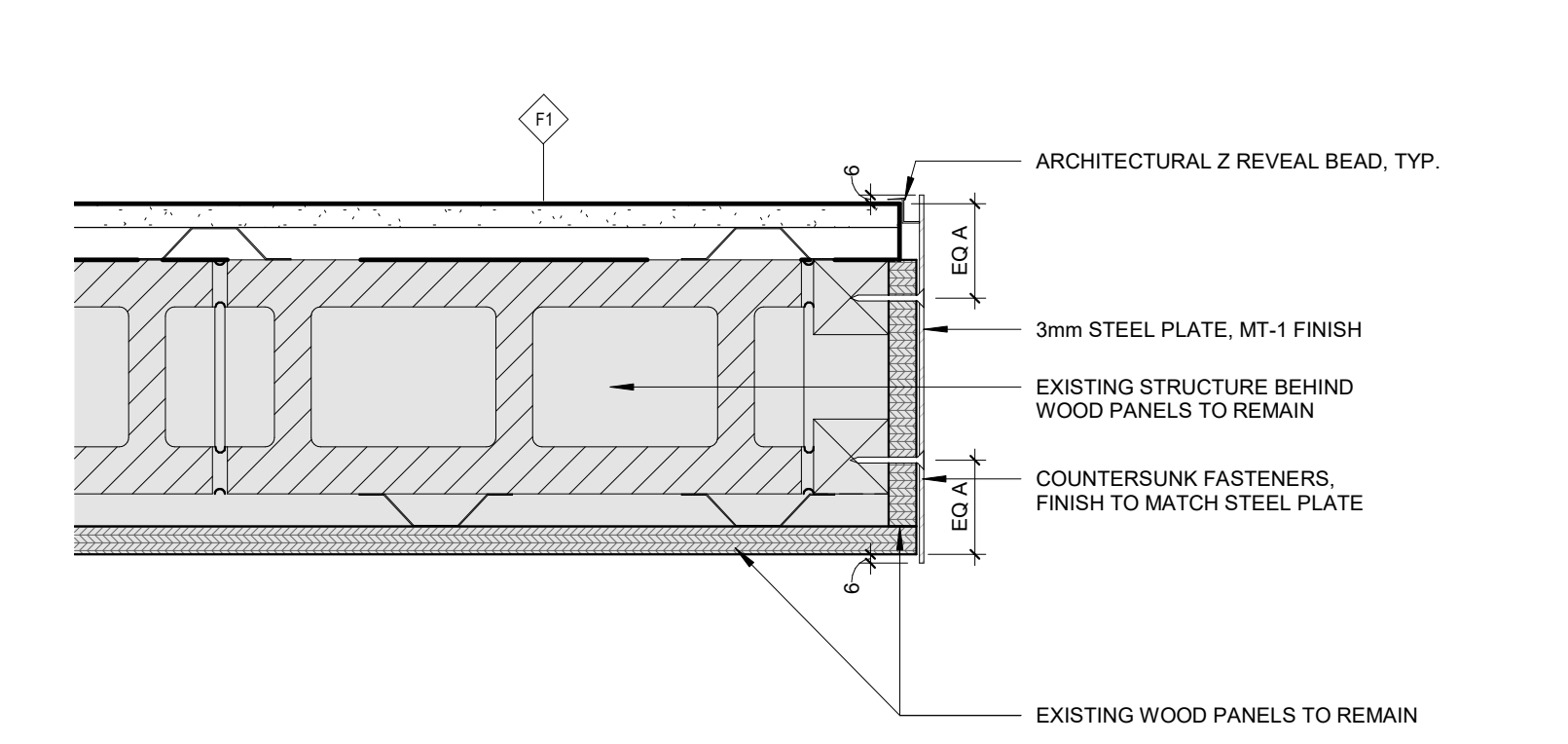
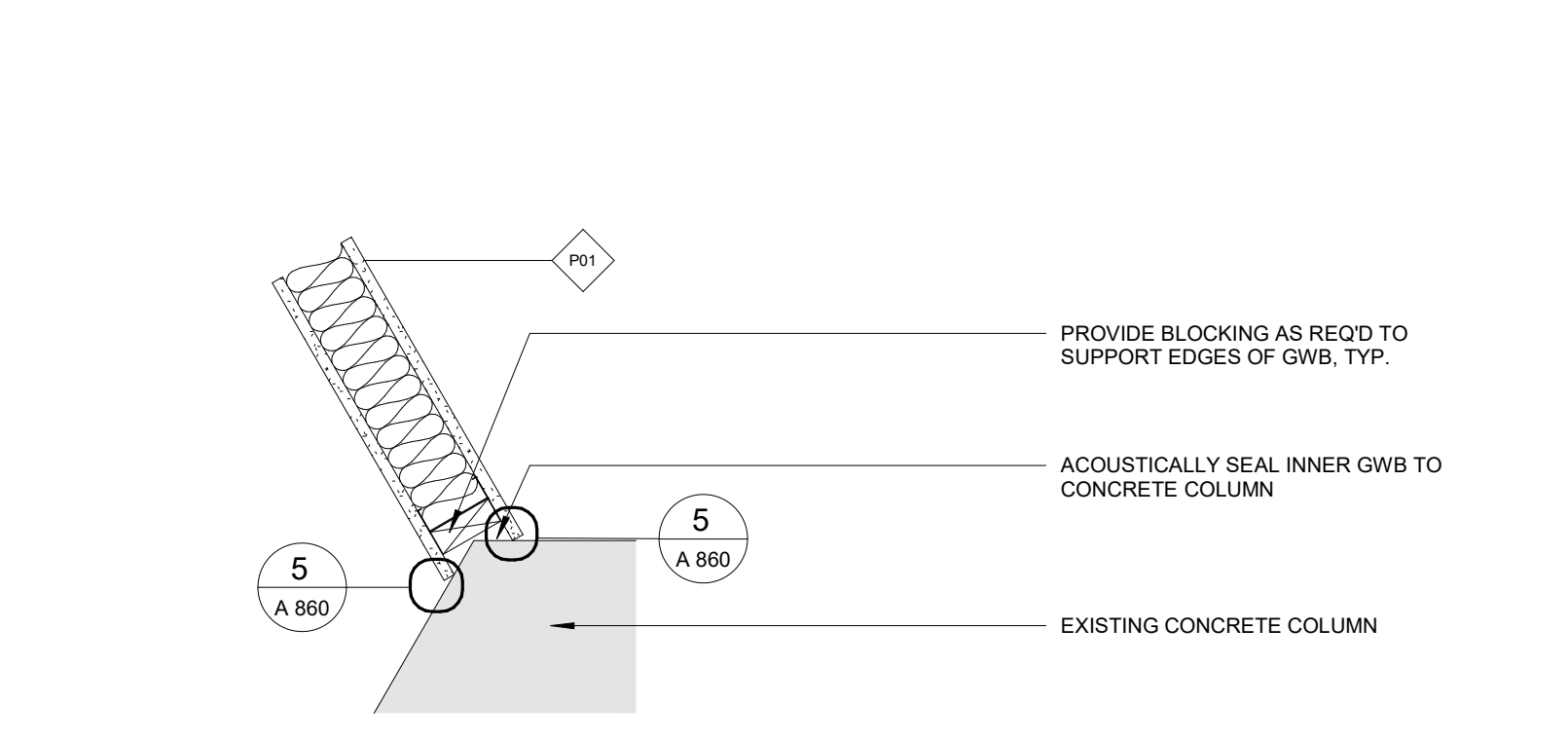
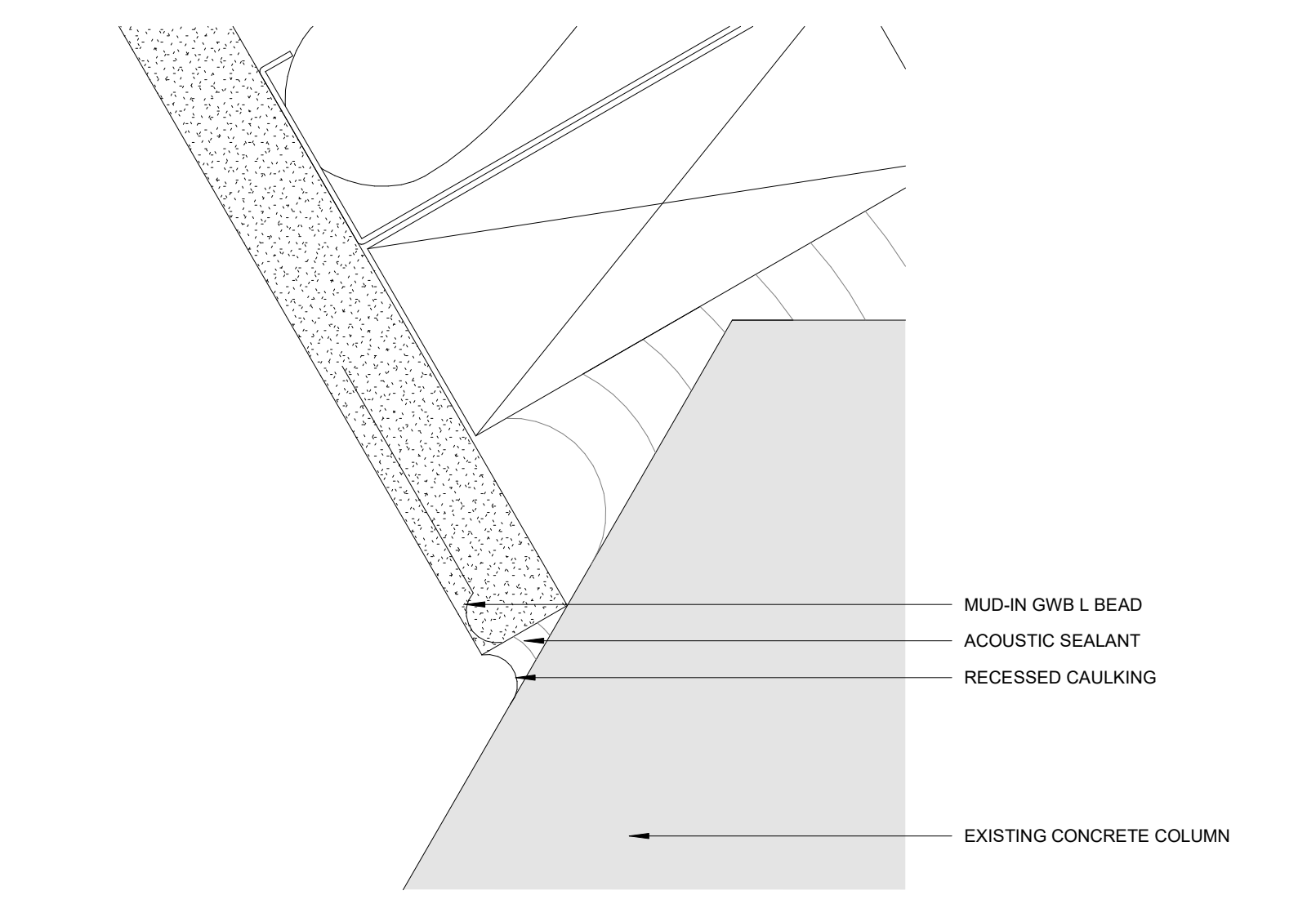
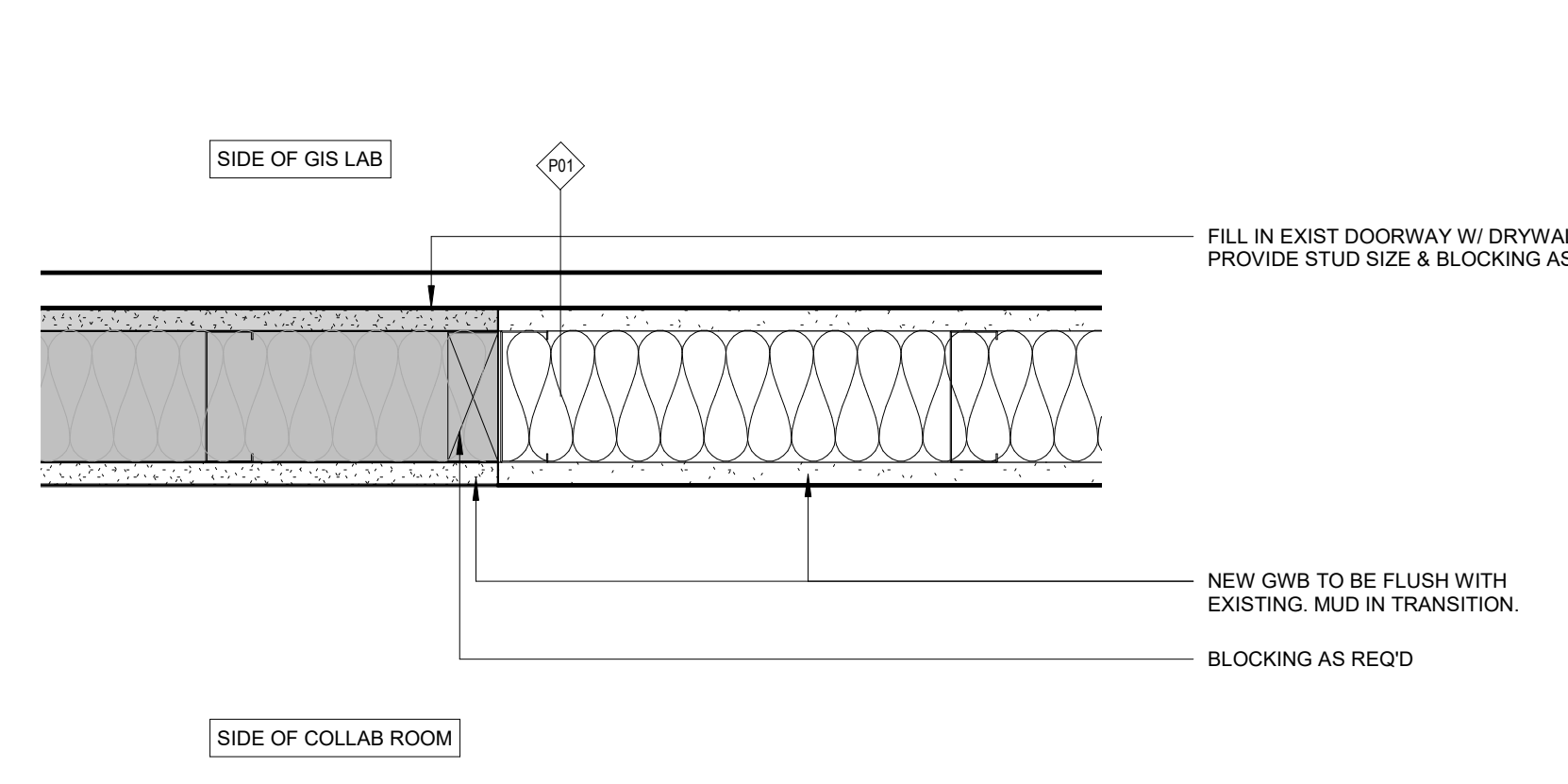
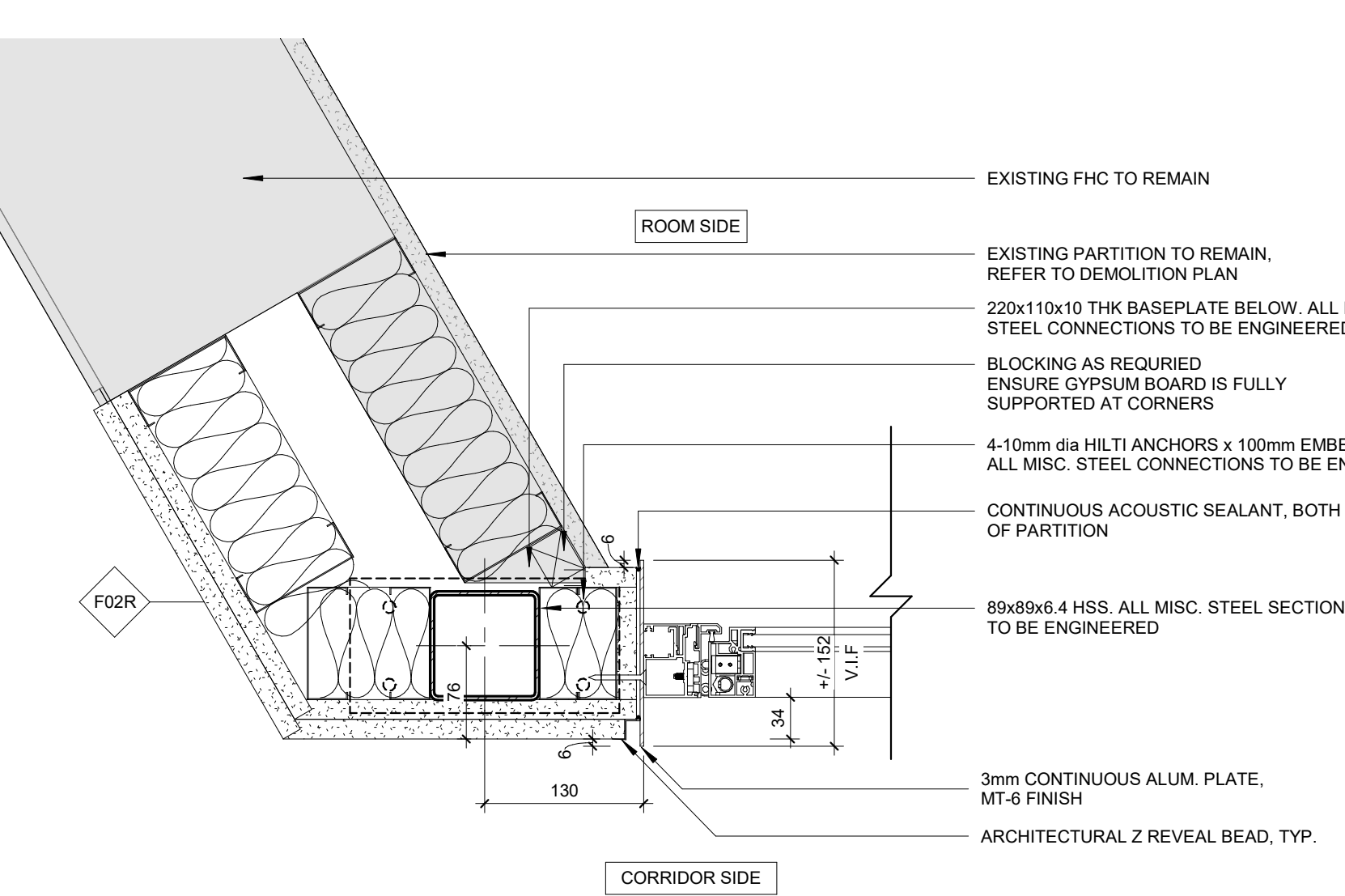
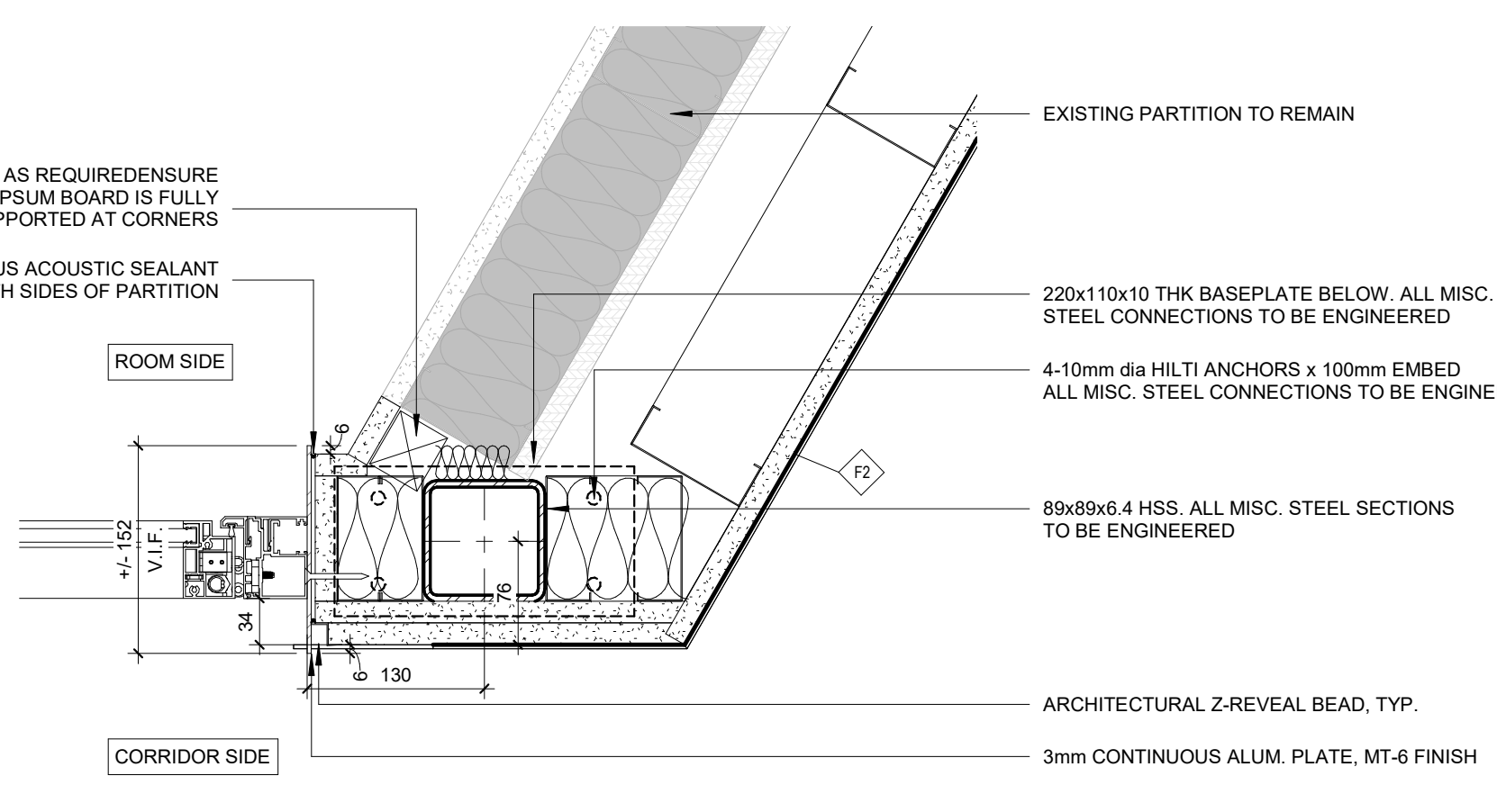
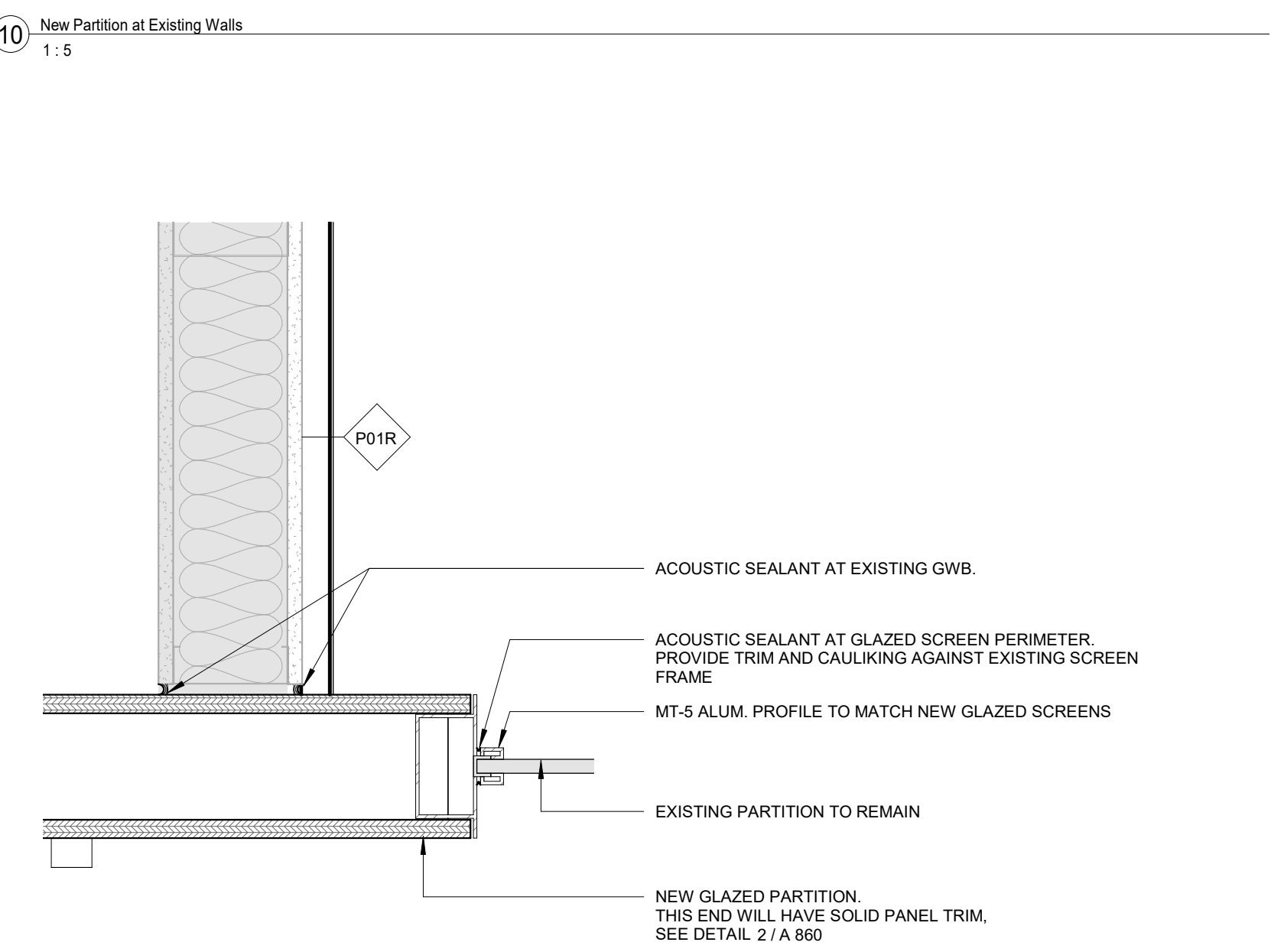
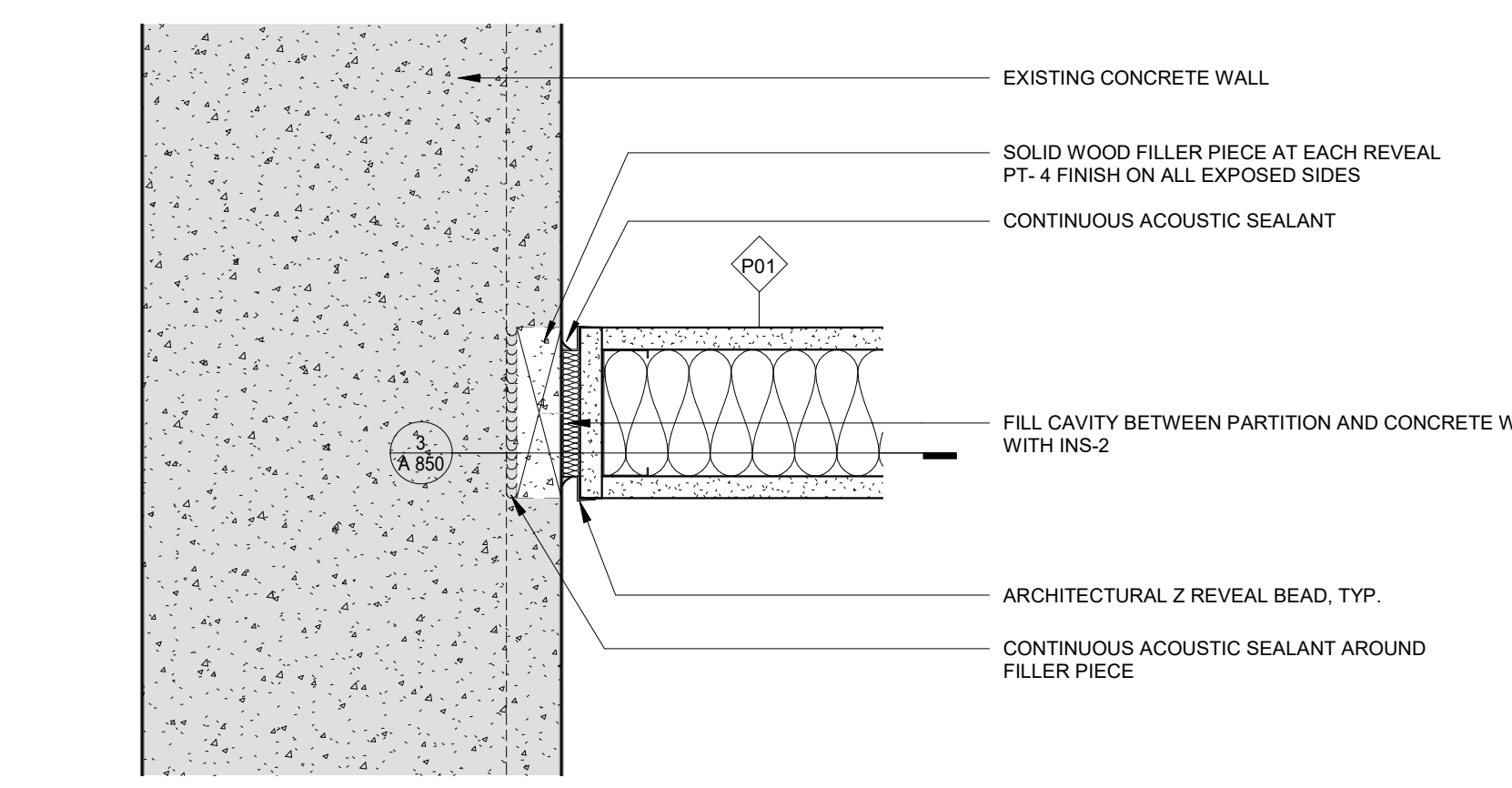
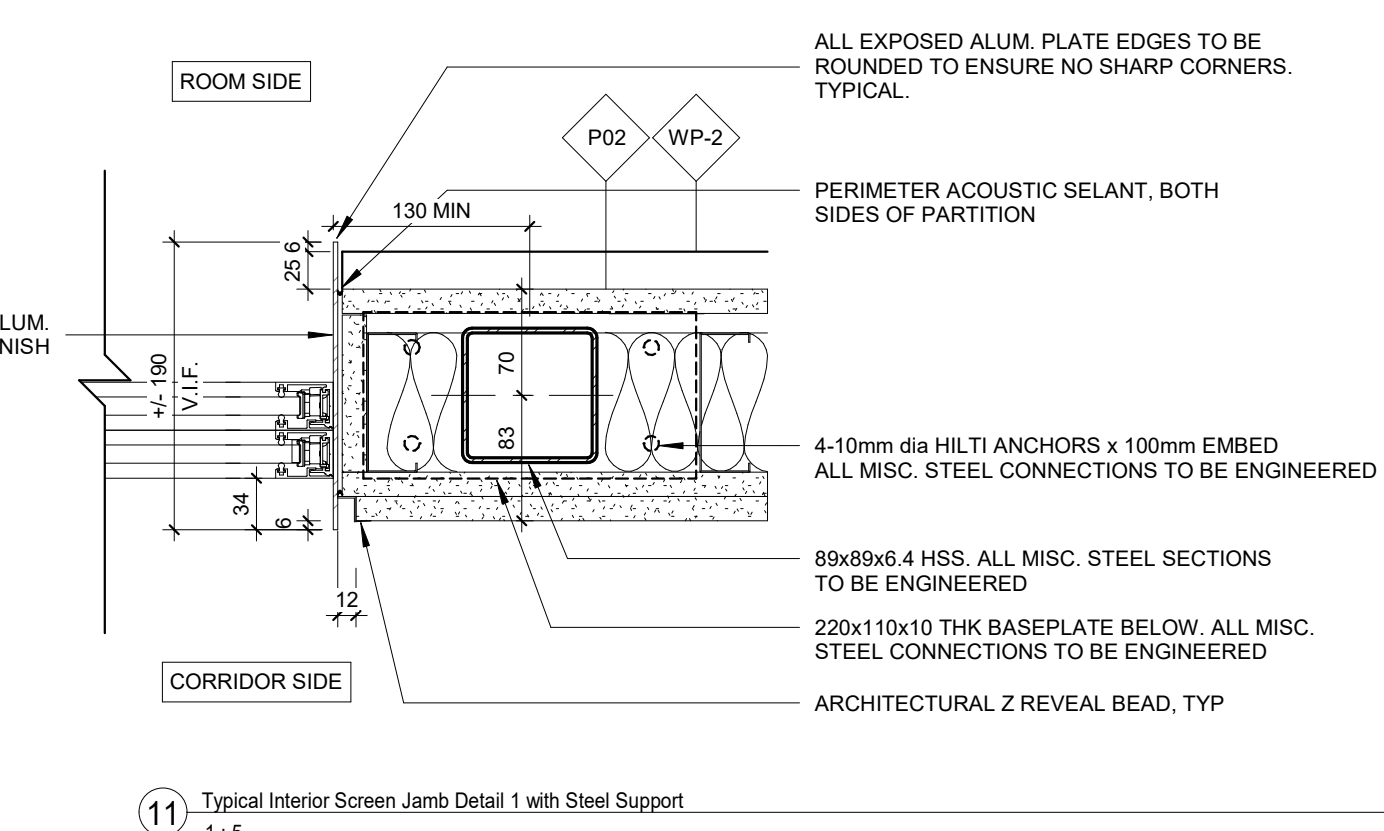
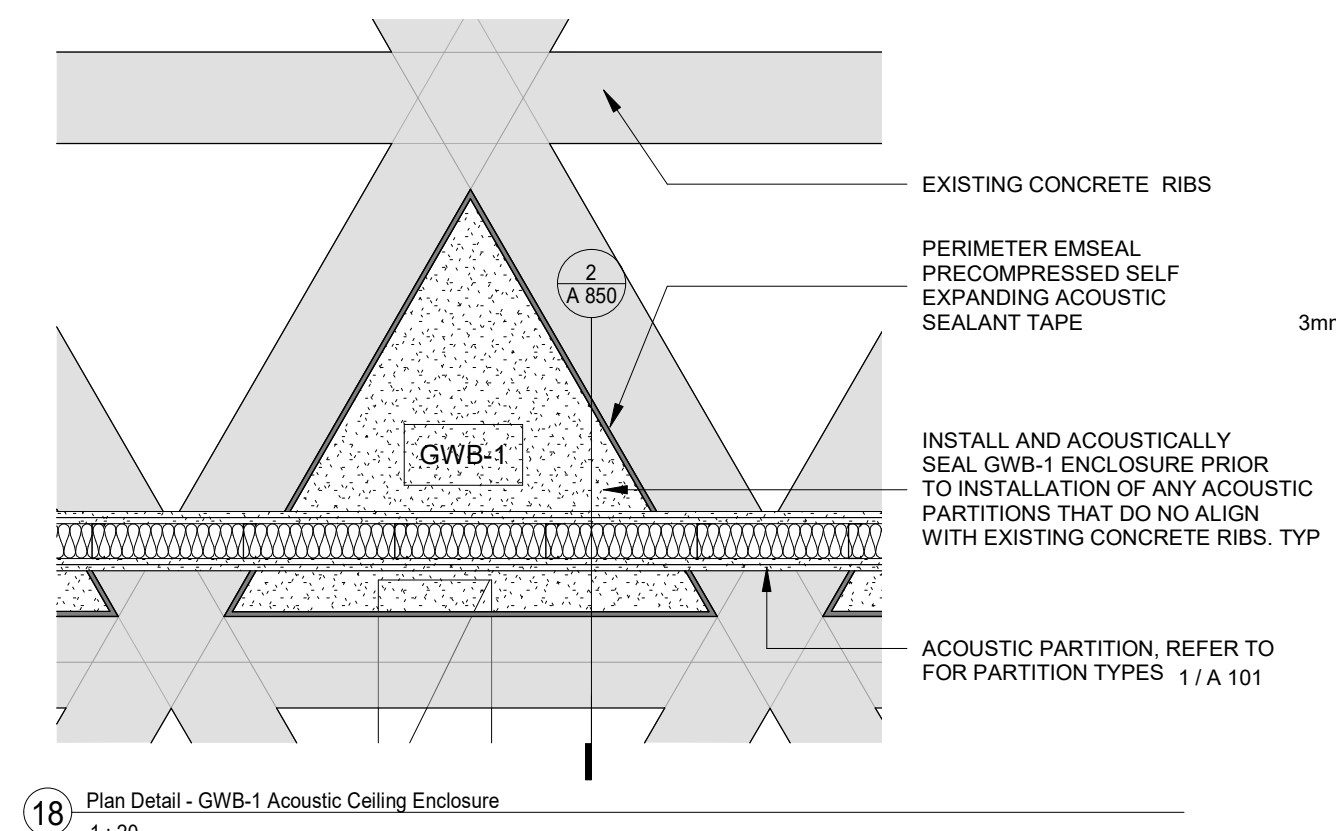
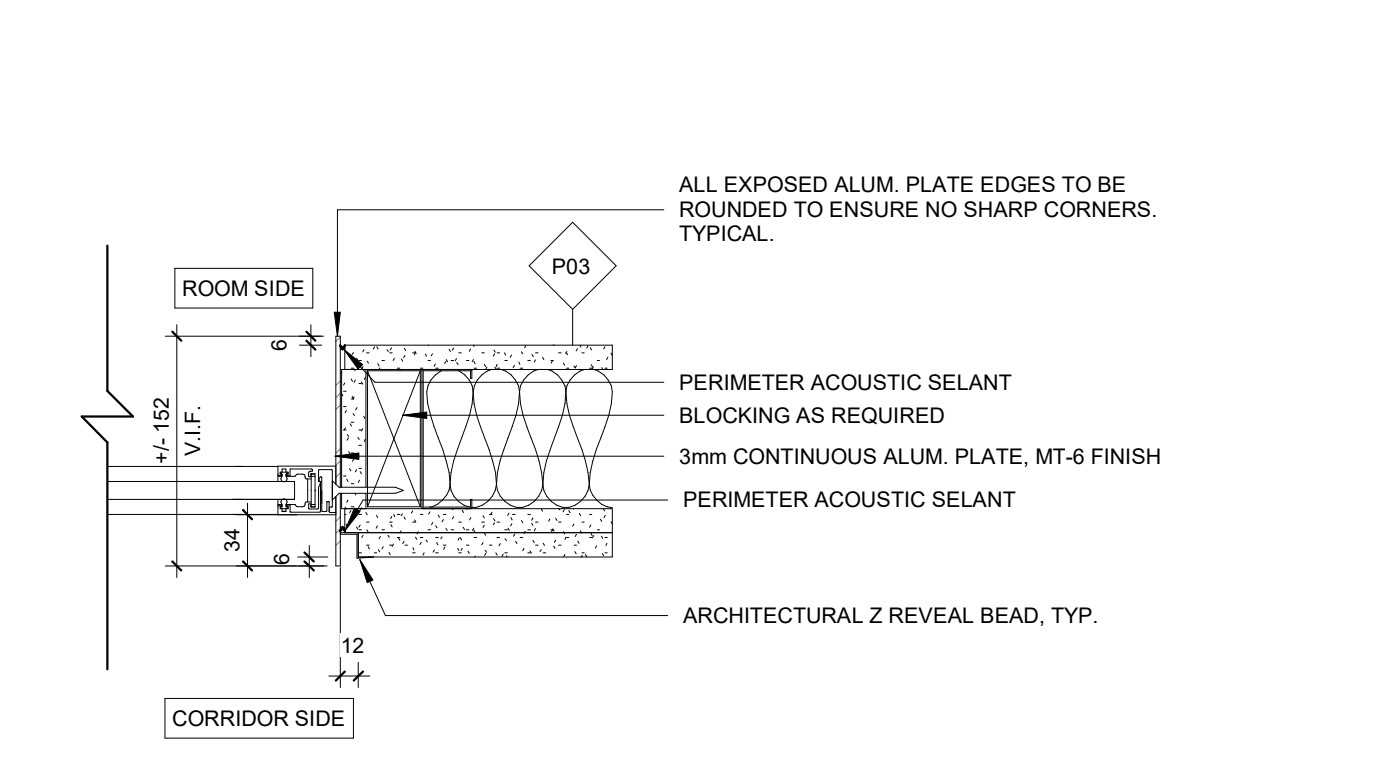
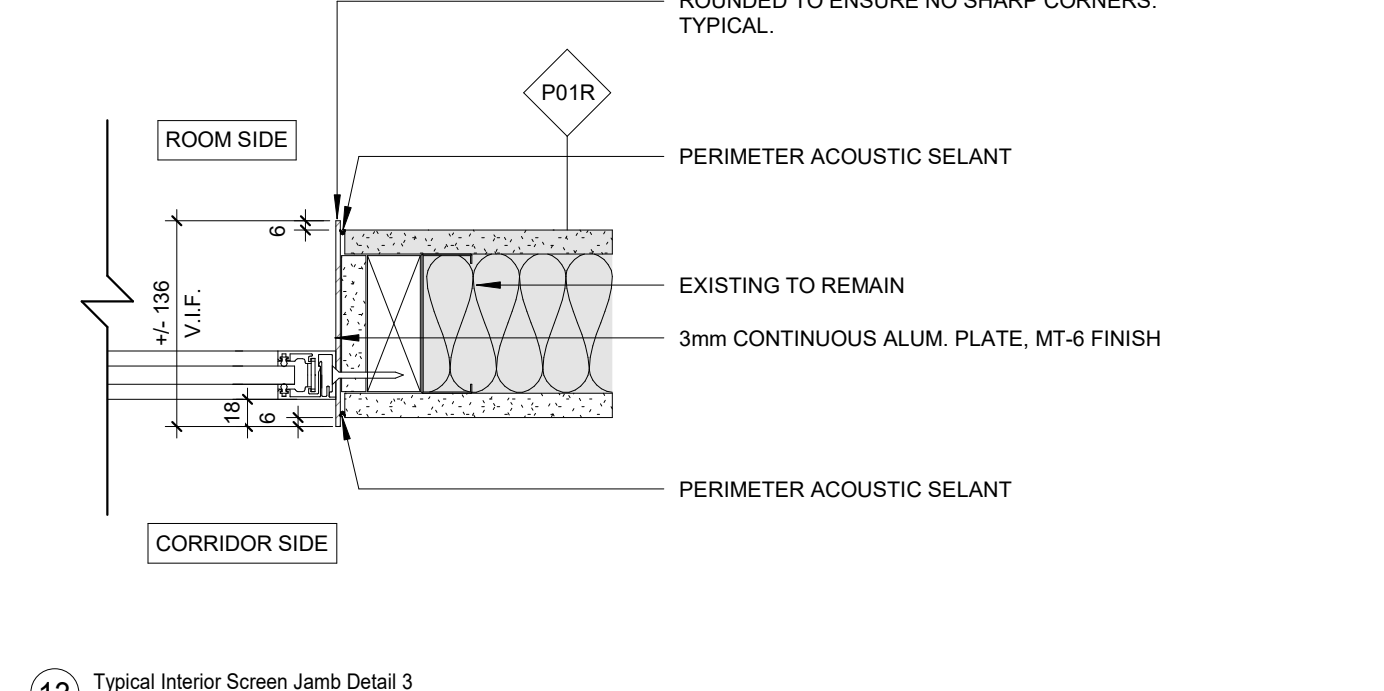
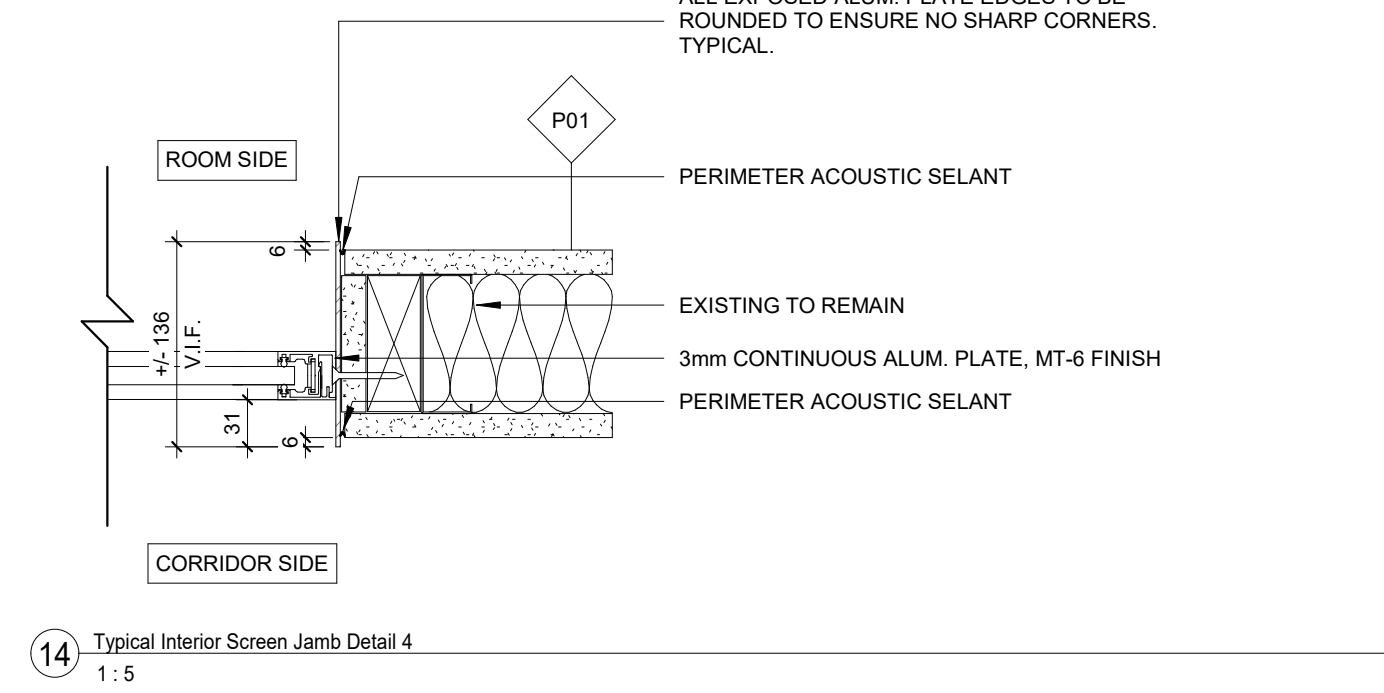
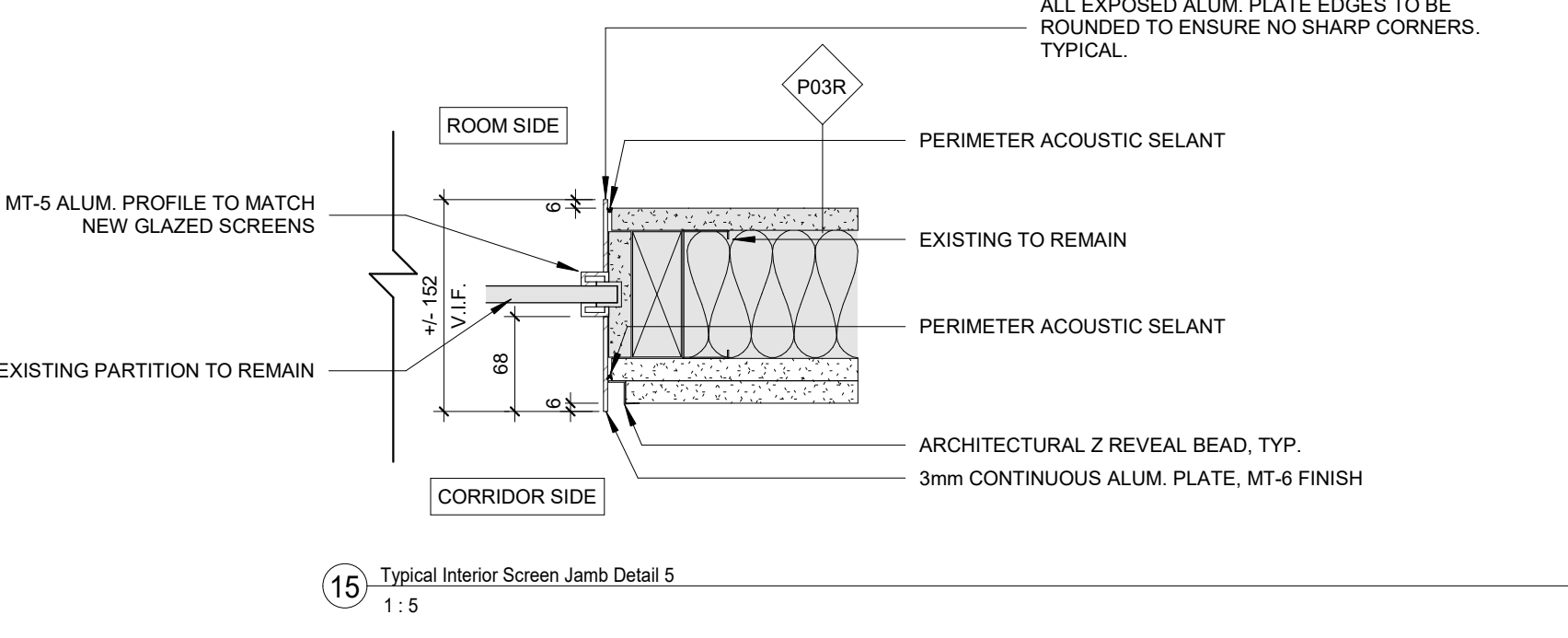
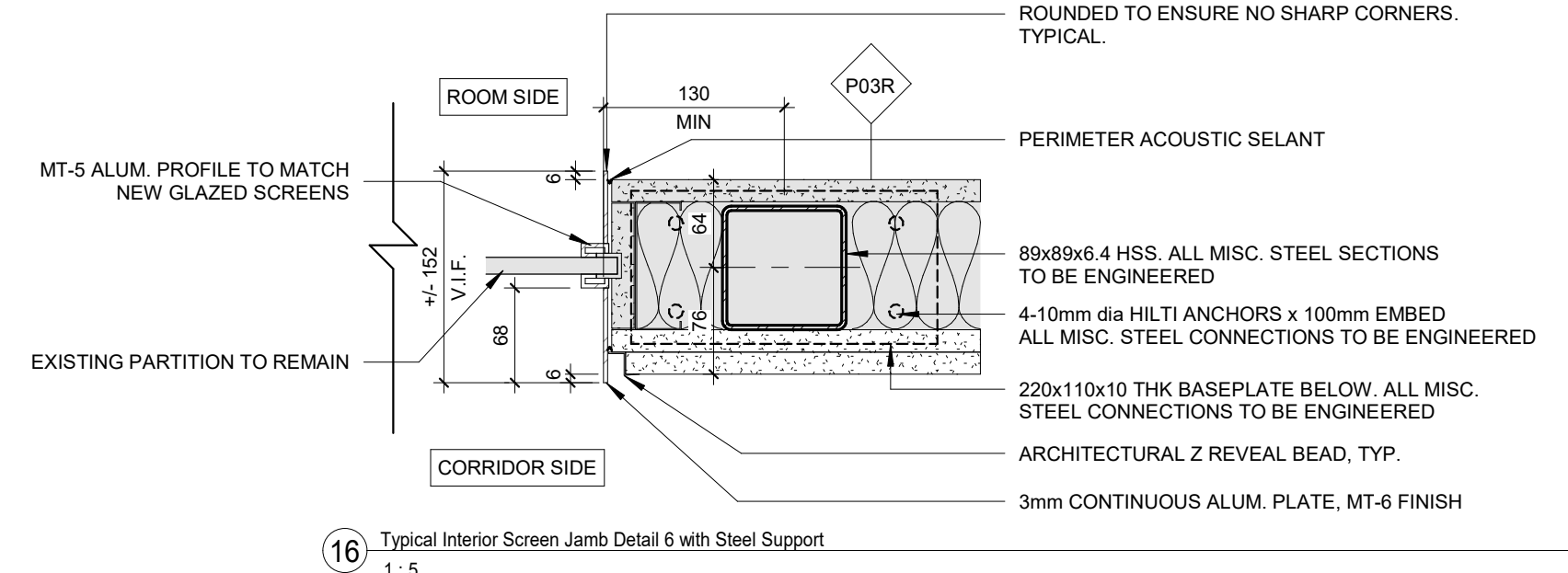
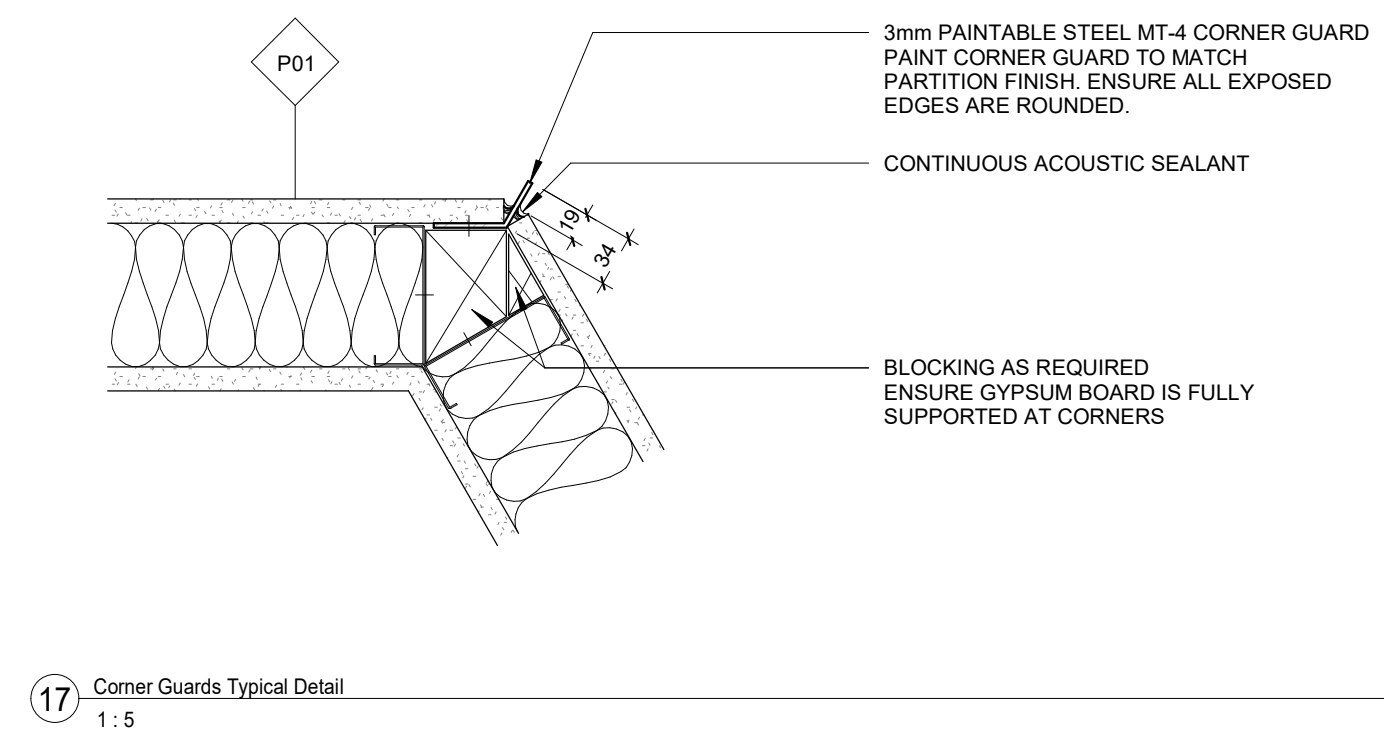
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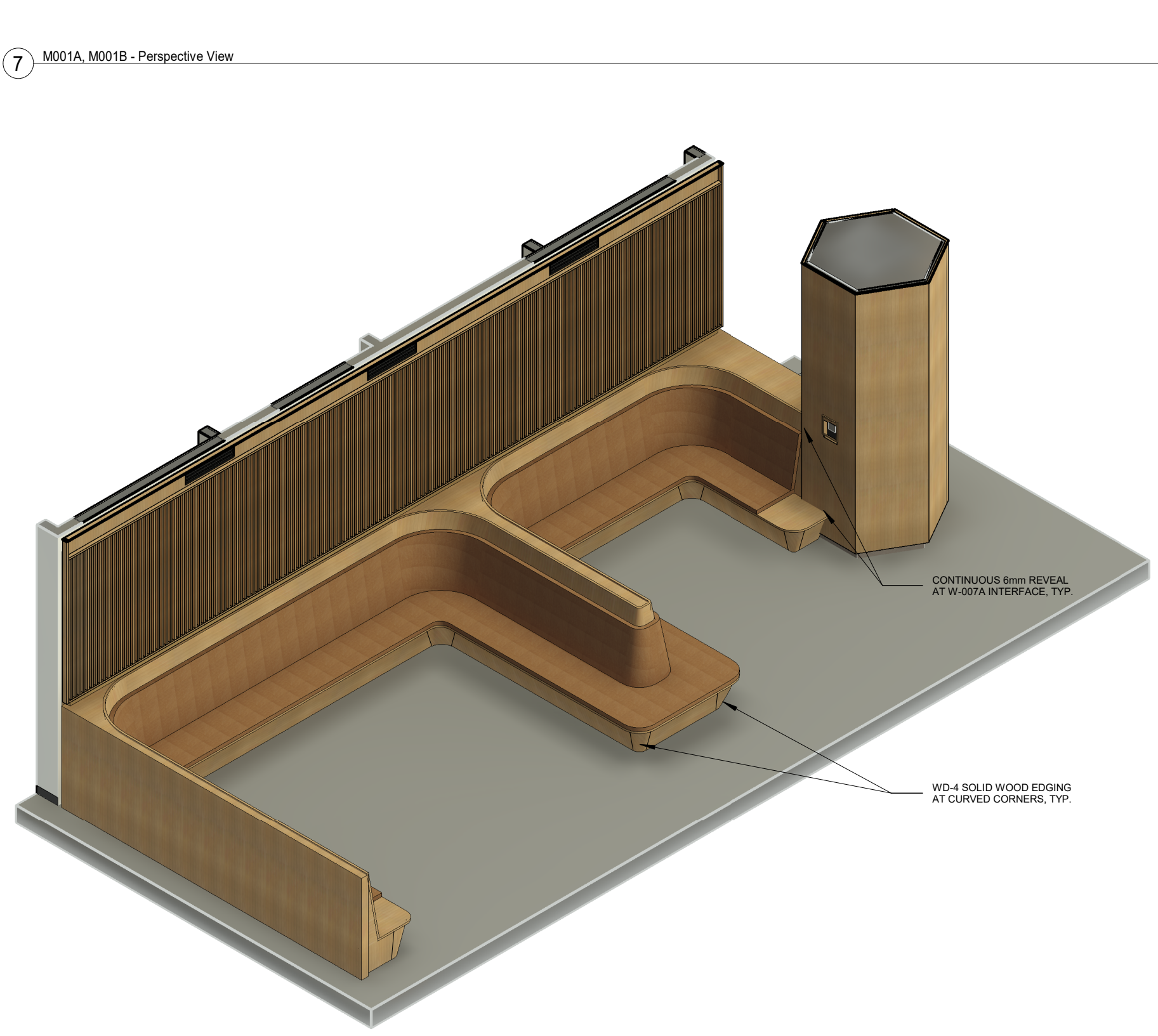
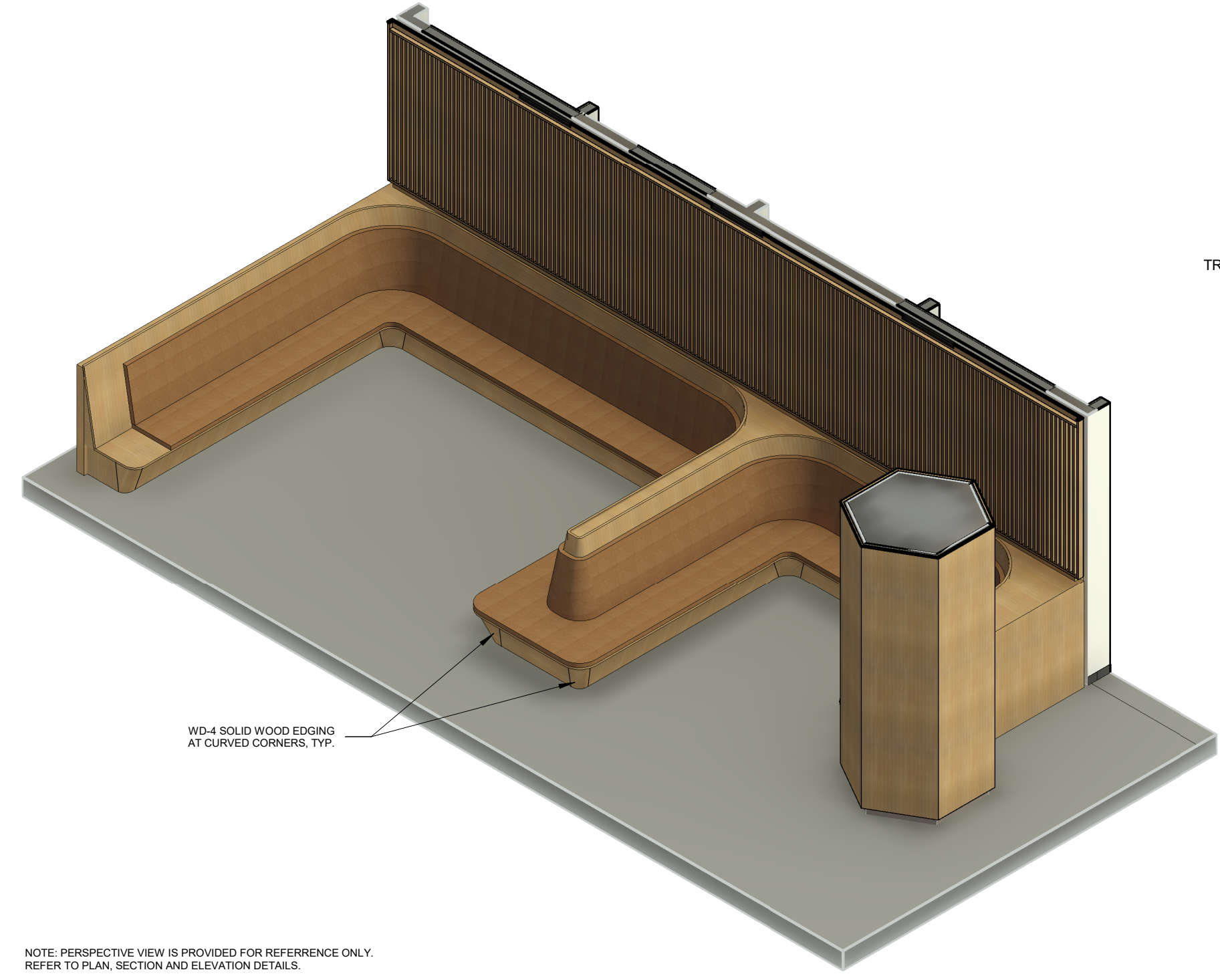
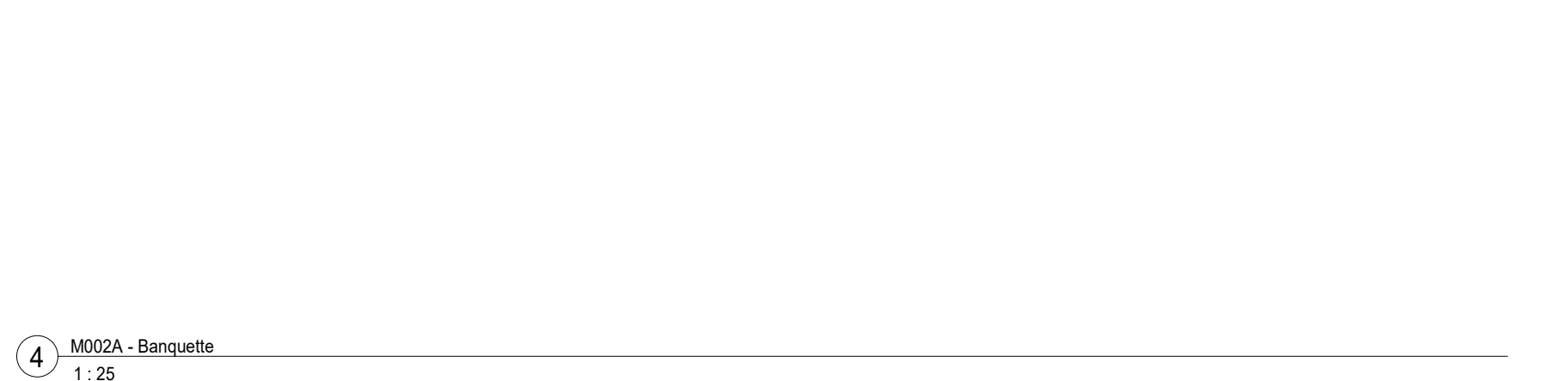
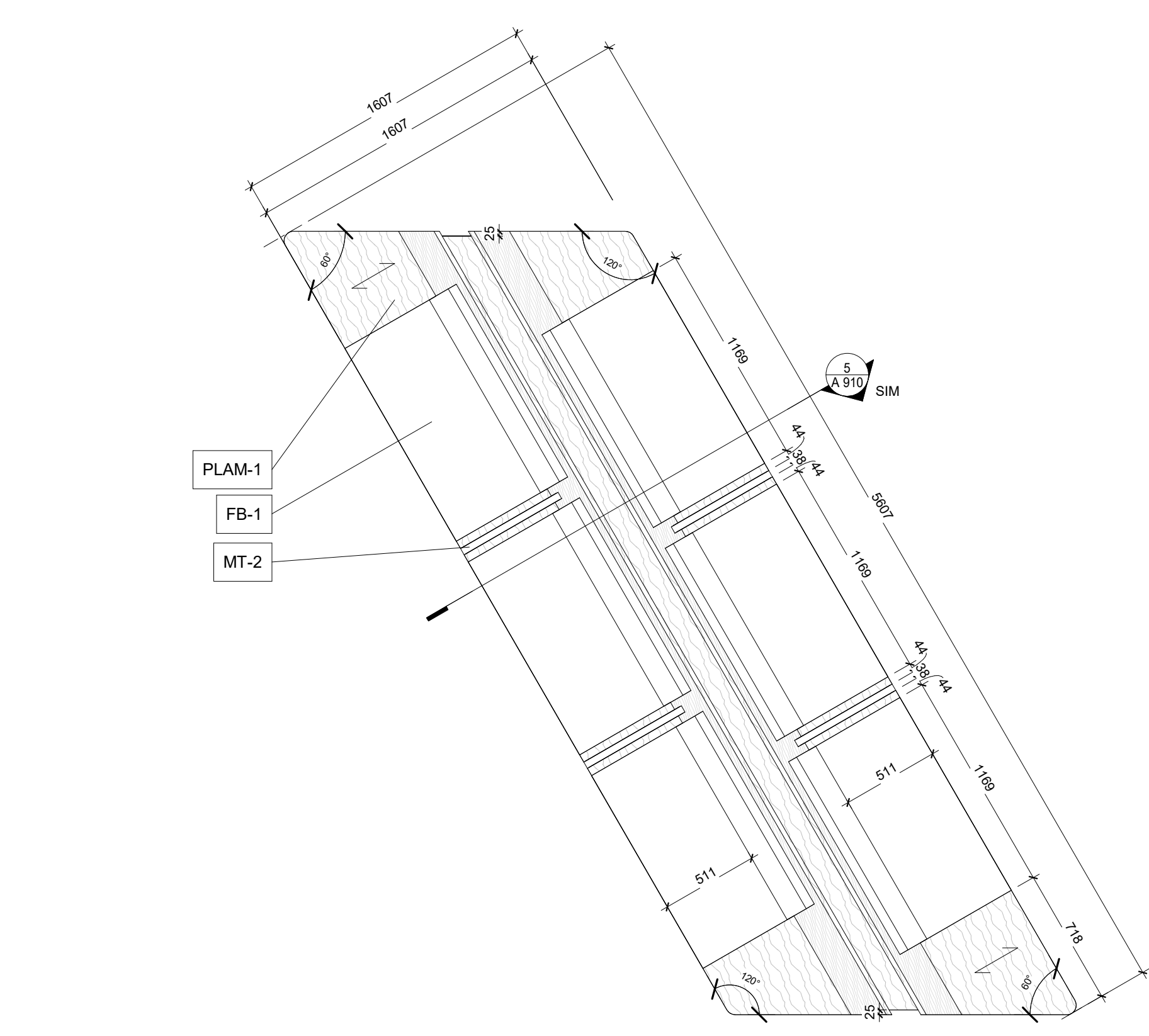
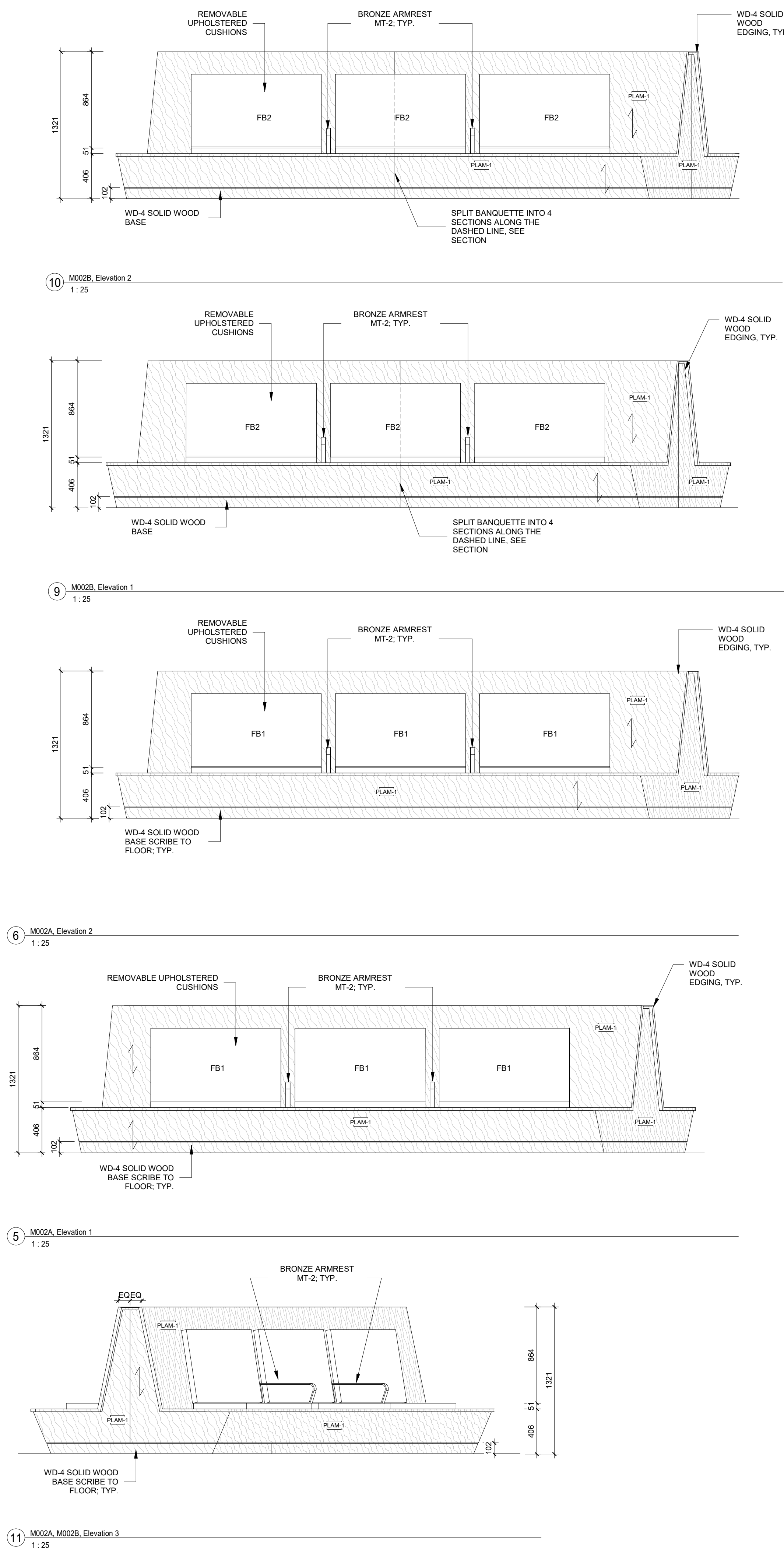
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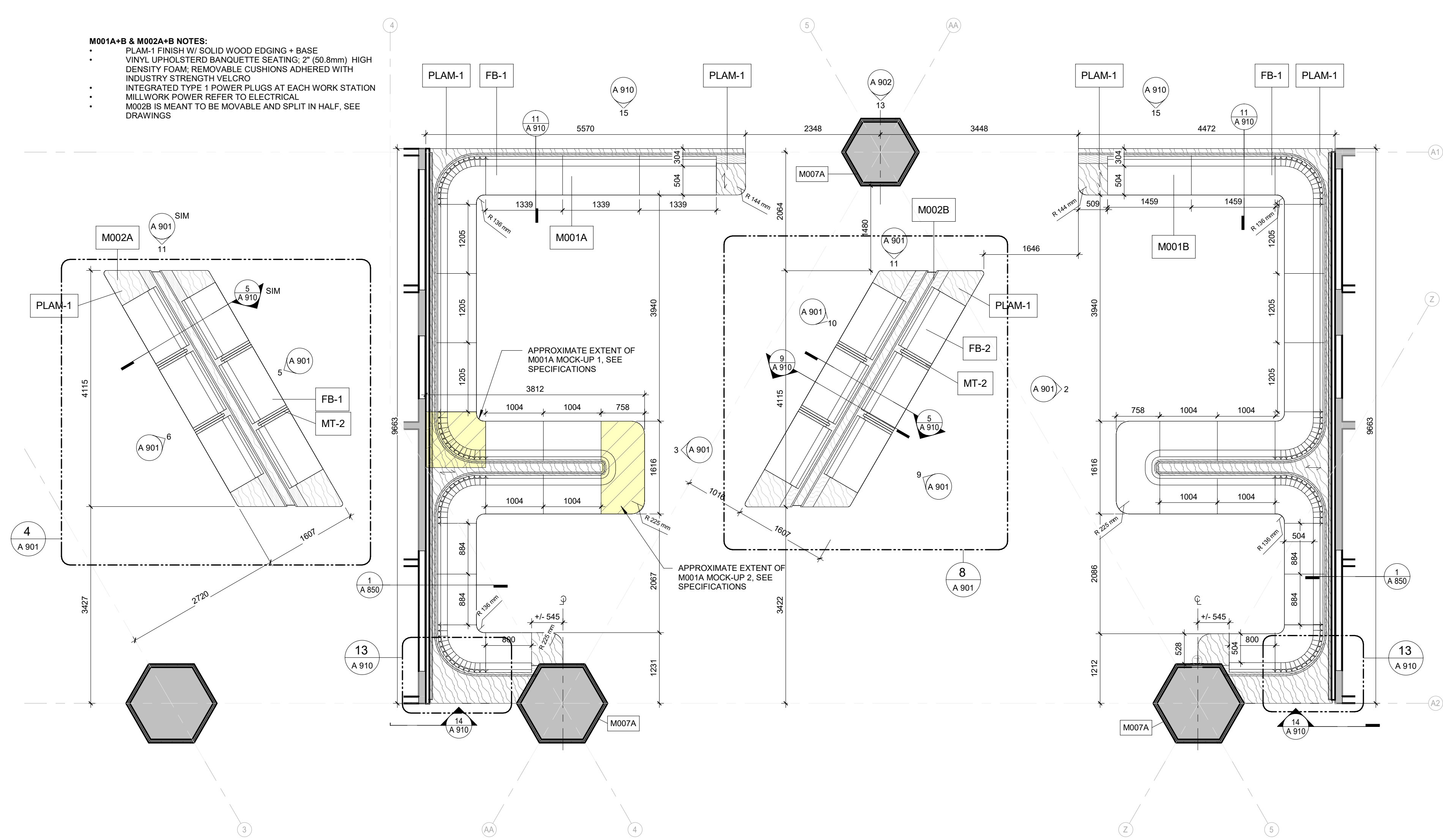
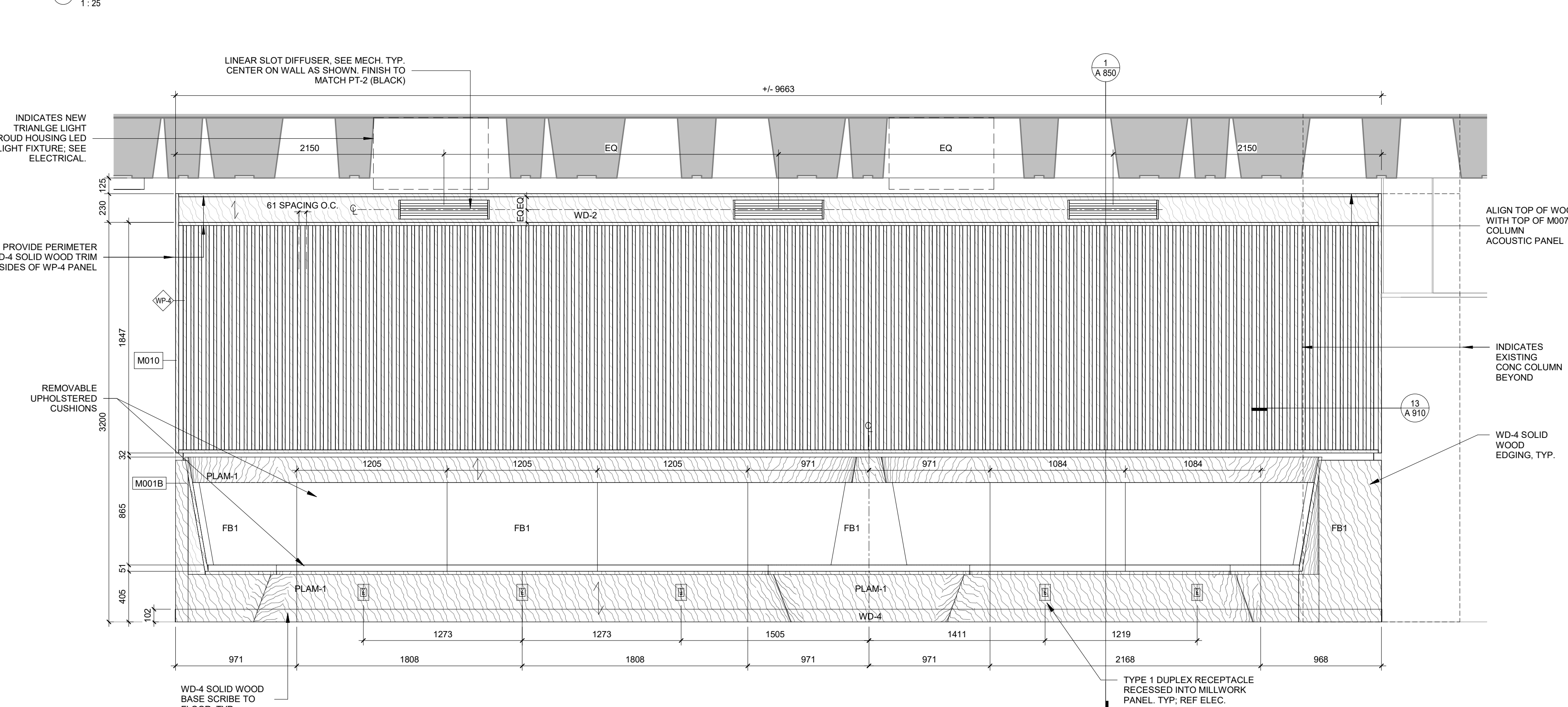
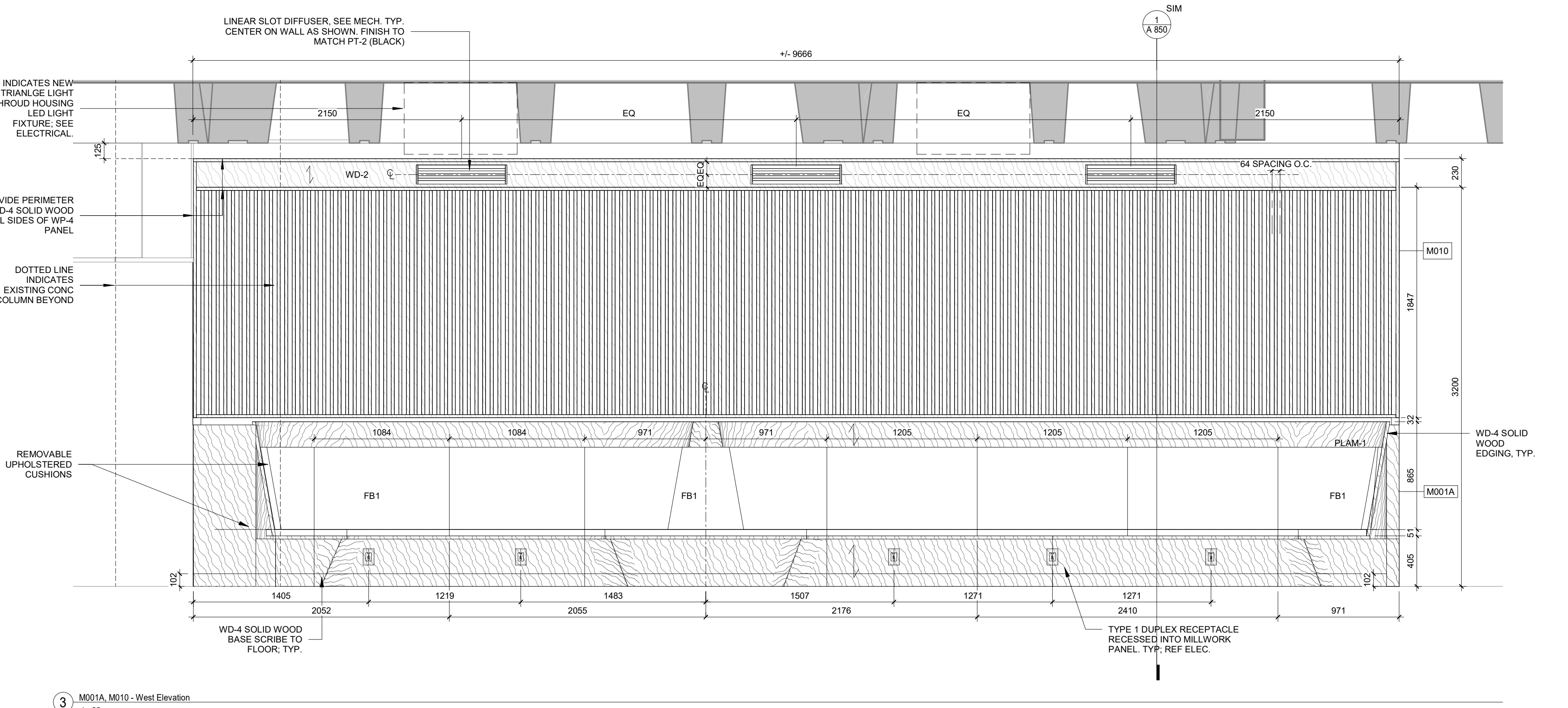
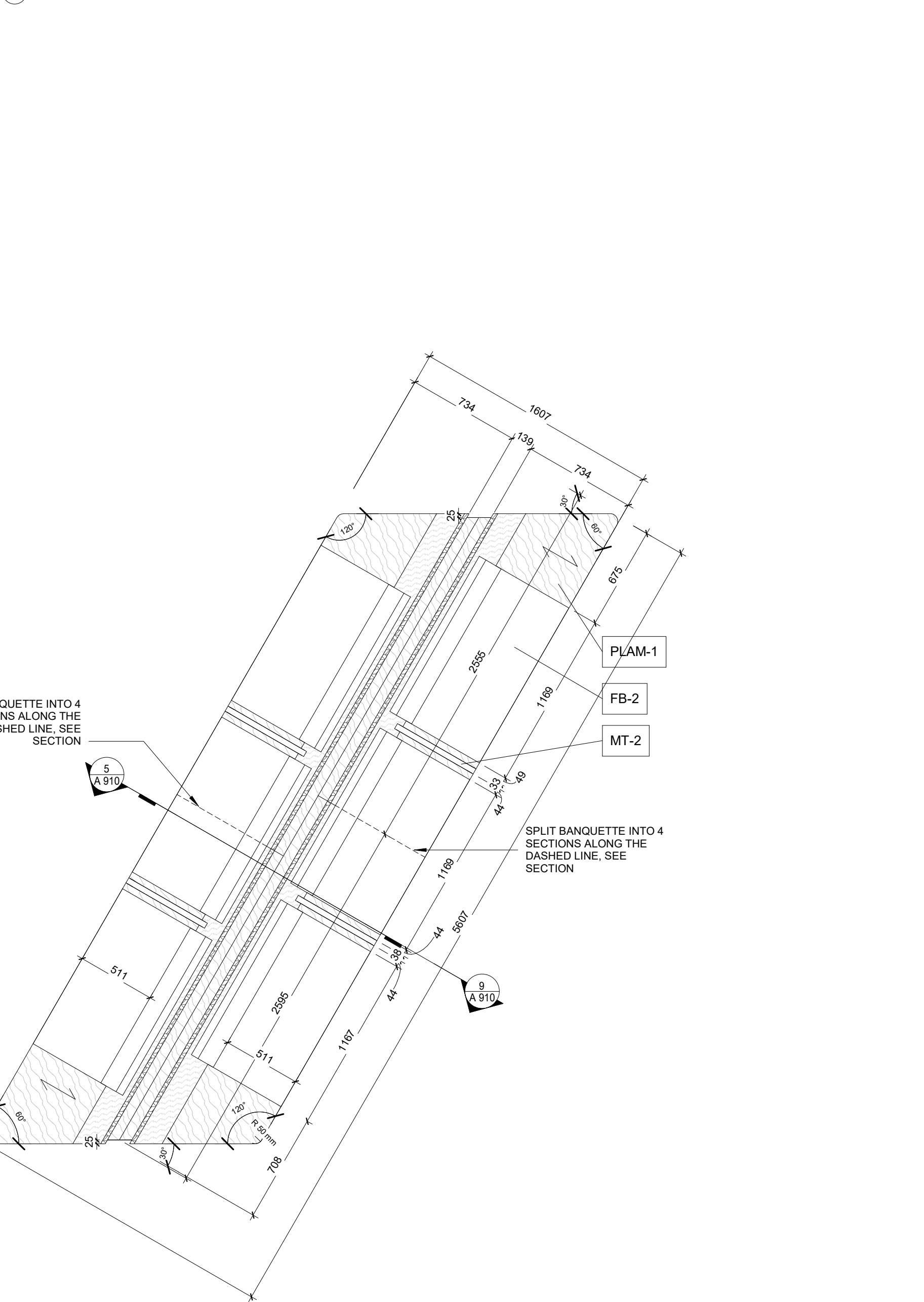
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1	20240429	ISSUED FOR 80% CD COSTING

No.	Date	Issue/Revision
Robarts 5th Floor Renovation		
Title: Plan Details		
Project No. 2322 Scale As indicated		
Drawing No.		

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Robarts 5th Floor
Renovation

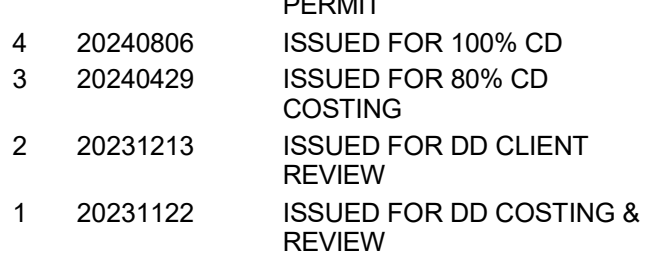
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M001A+B, M002A+B,
M010

Project No. 2322 Scale As indicated
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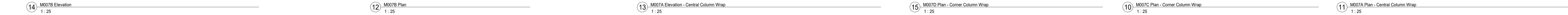


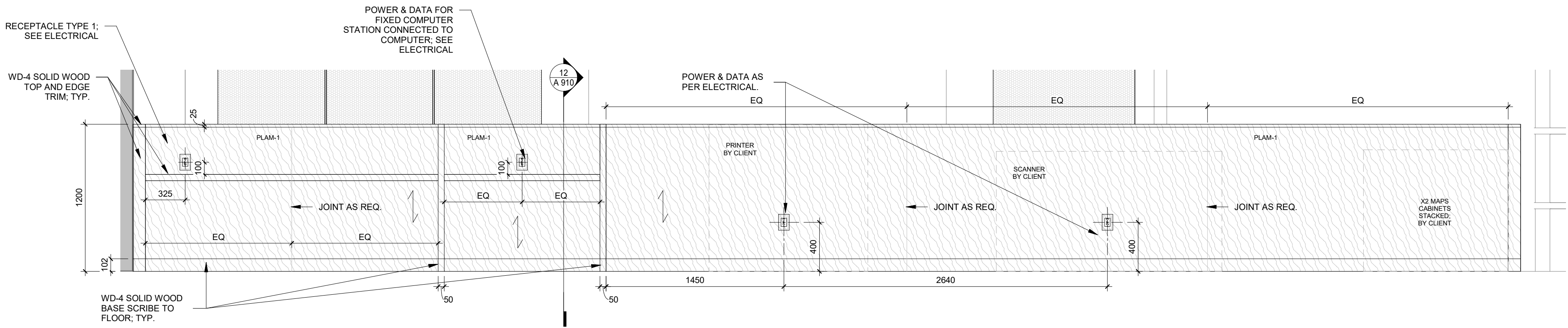
Roberts 5th Floor Renovation

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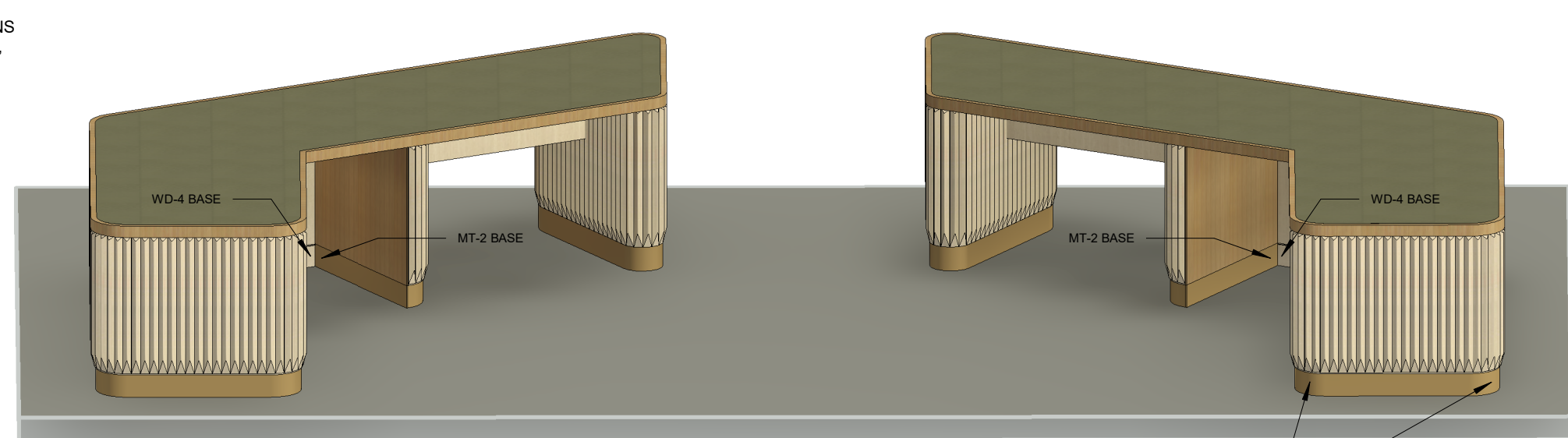
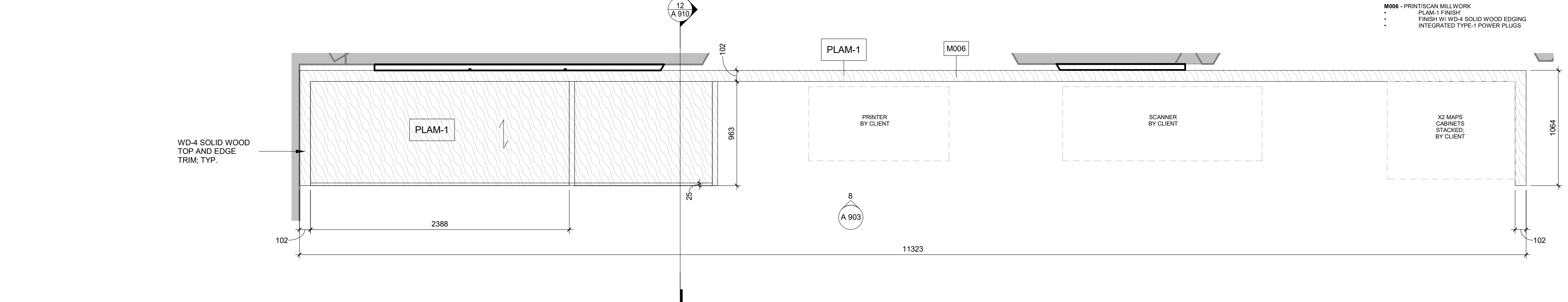
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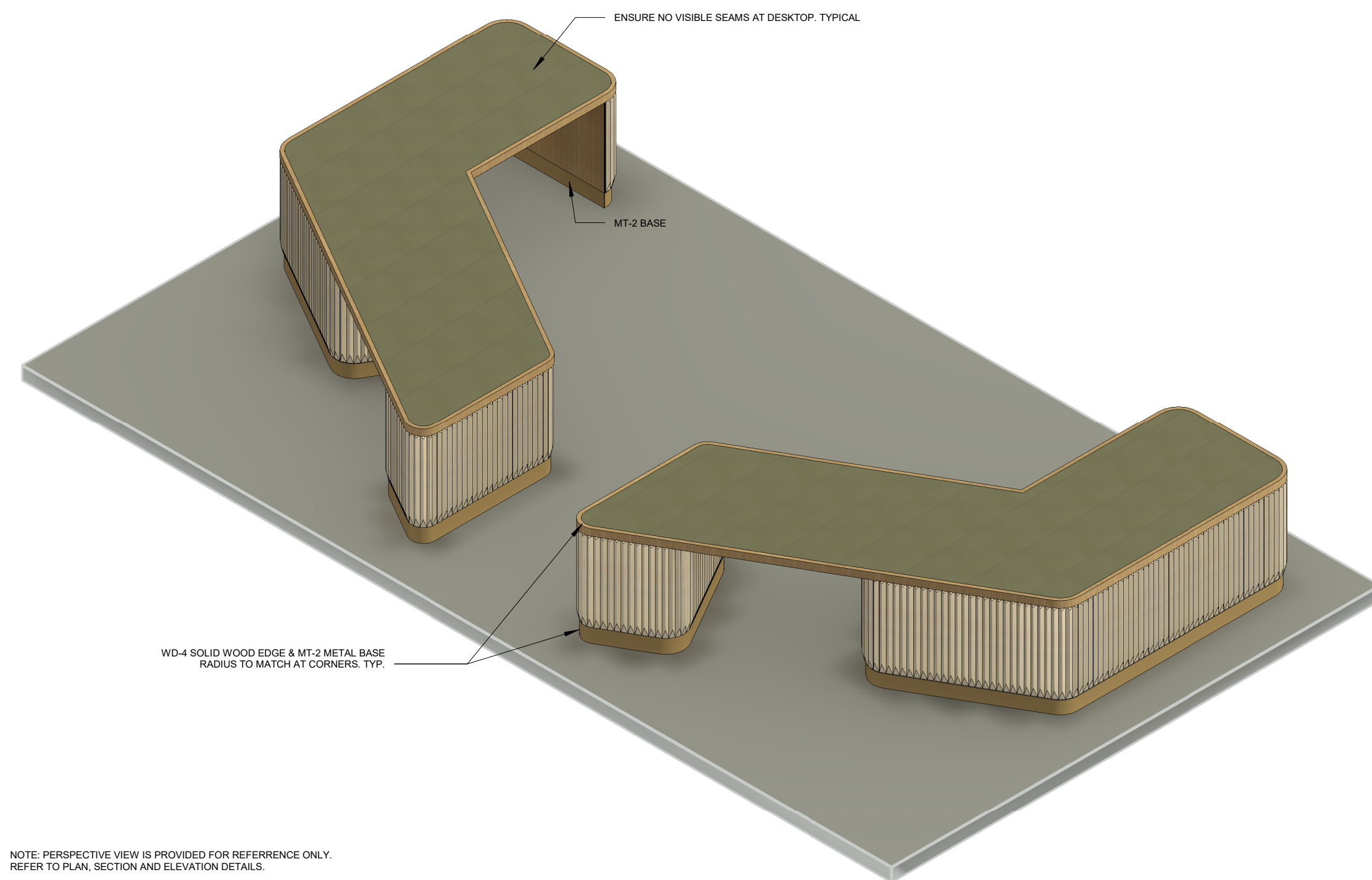


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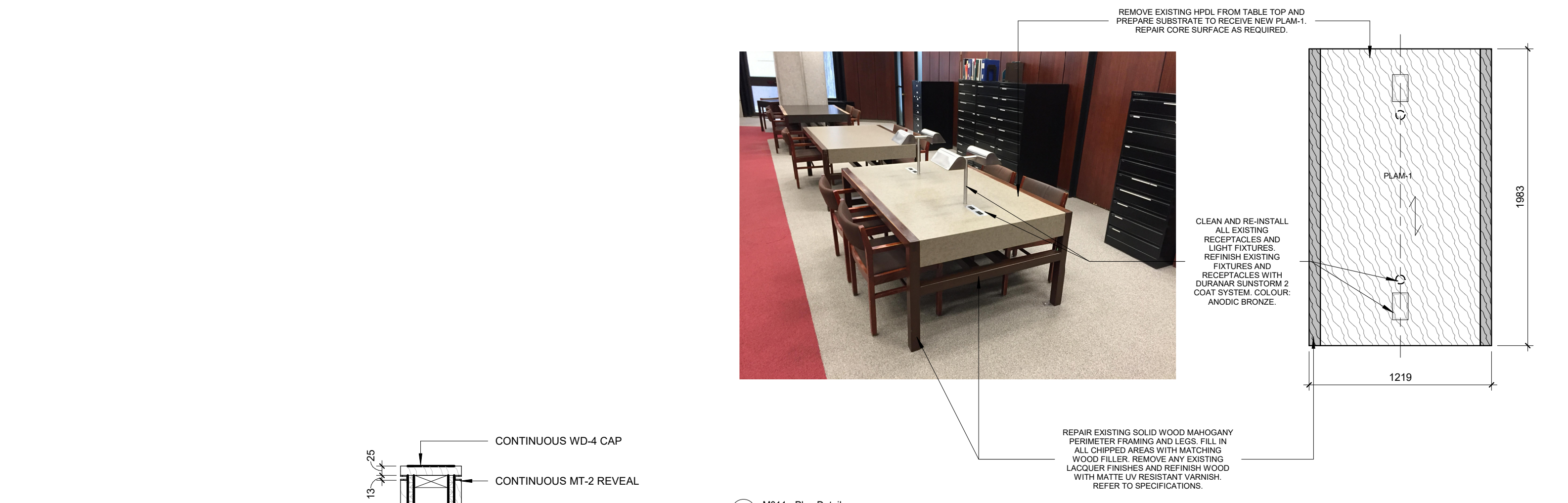
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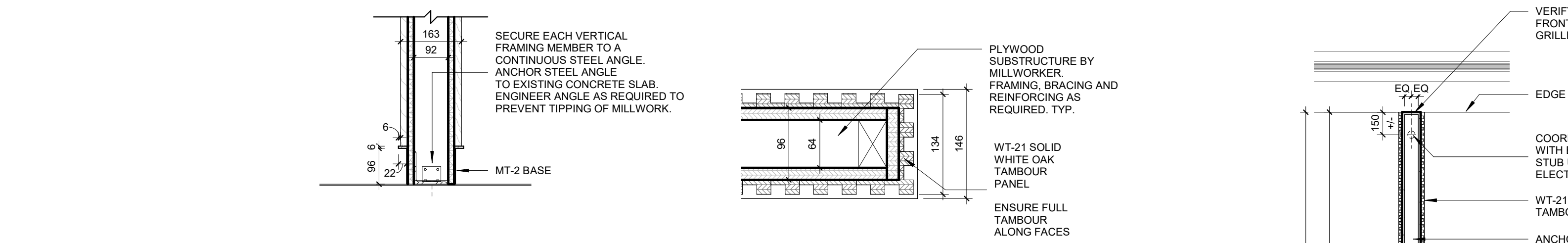
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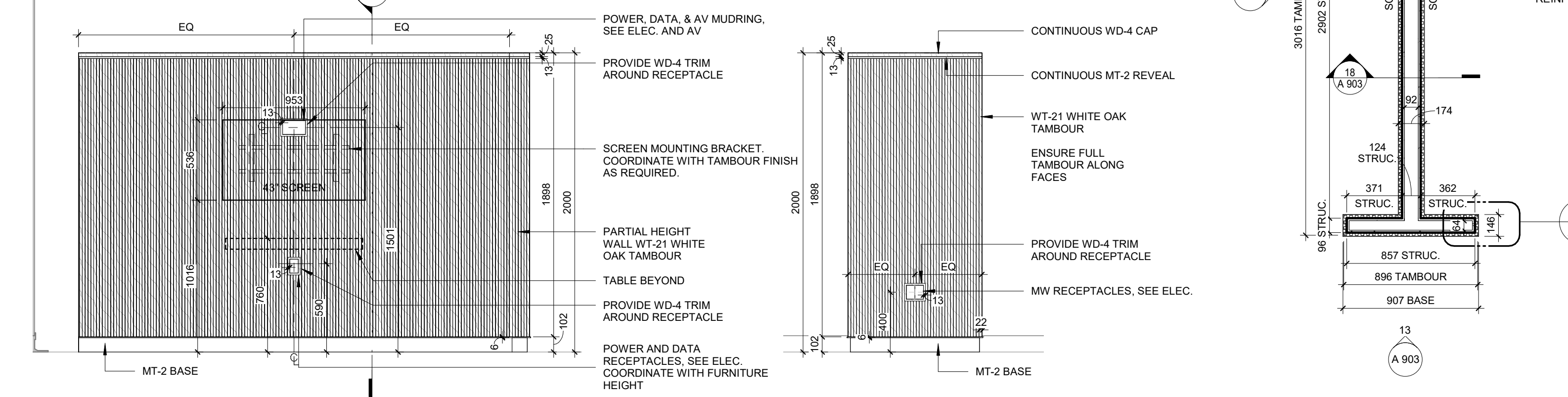
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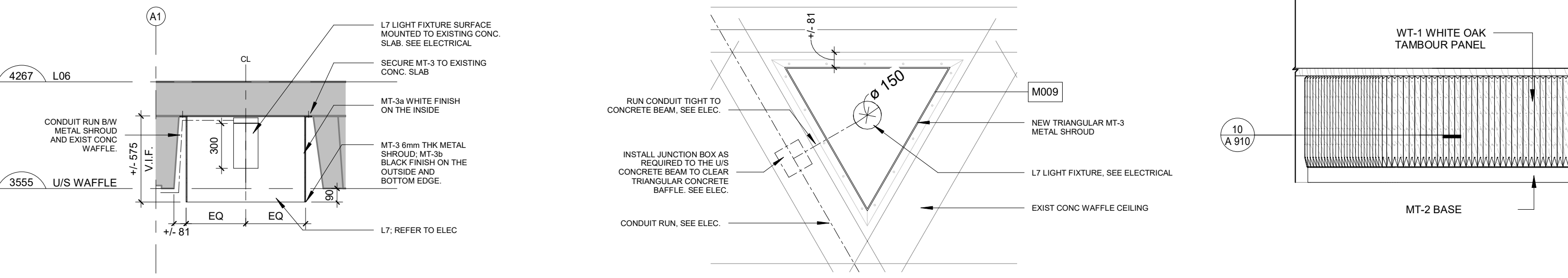
18 M008 Section Detail
1:10



12 M008 - Partial Height Wall - Long Elevation
1:25

13 M008 - Partial Height Wall - Short Elevation
1:25

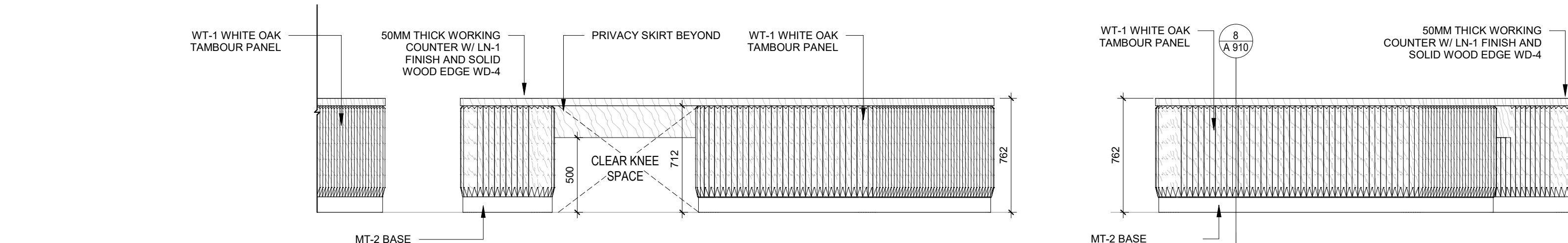
14 M008 - Plan - TYP Partial Height Wall
1:25



11 M009 - Triangle Light
1:25

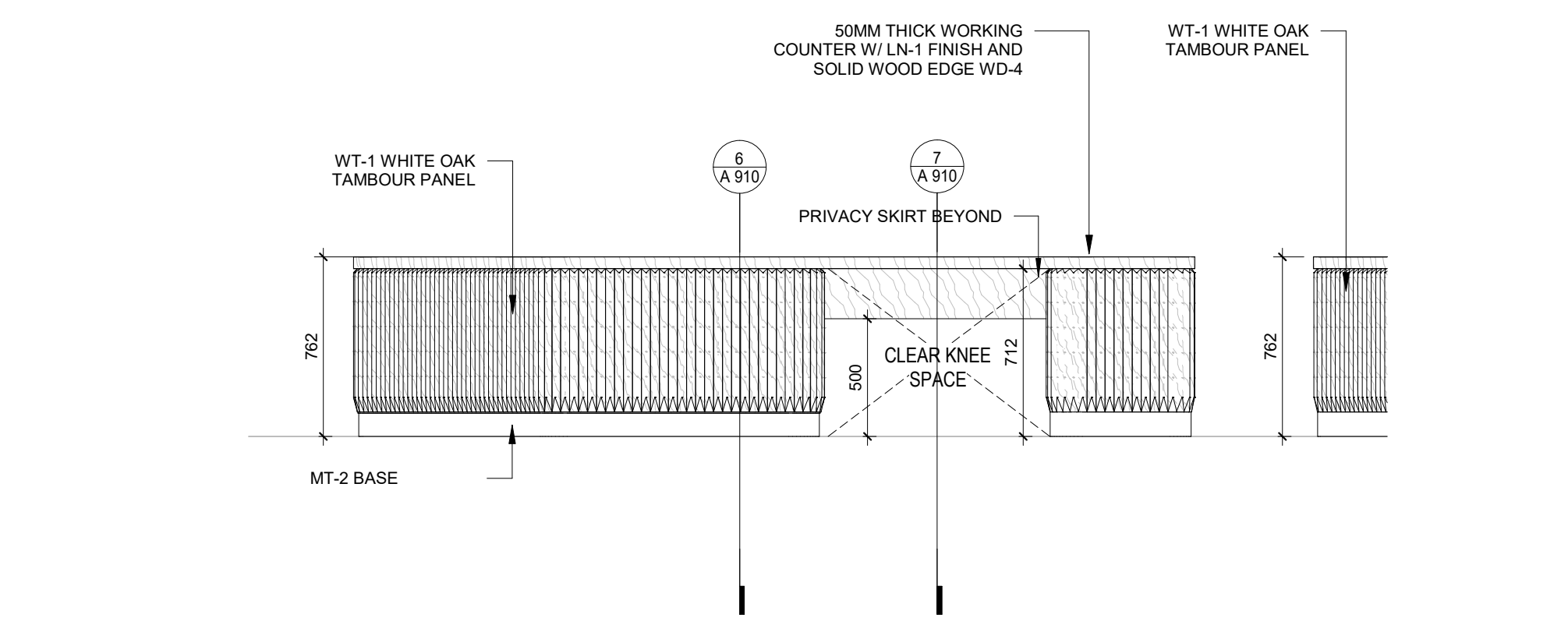
10 M009 - Triangle Light
1:20

5 M005 - Elevation 4
1:25

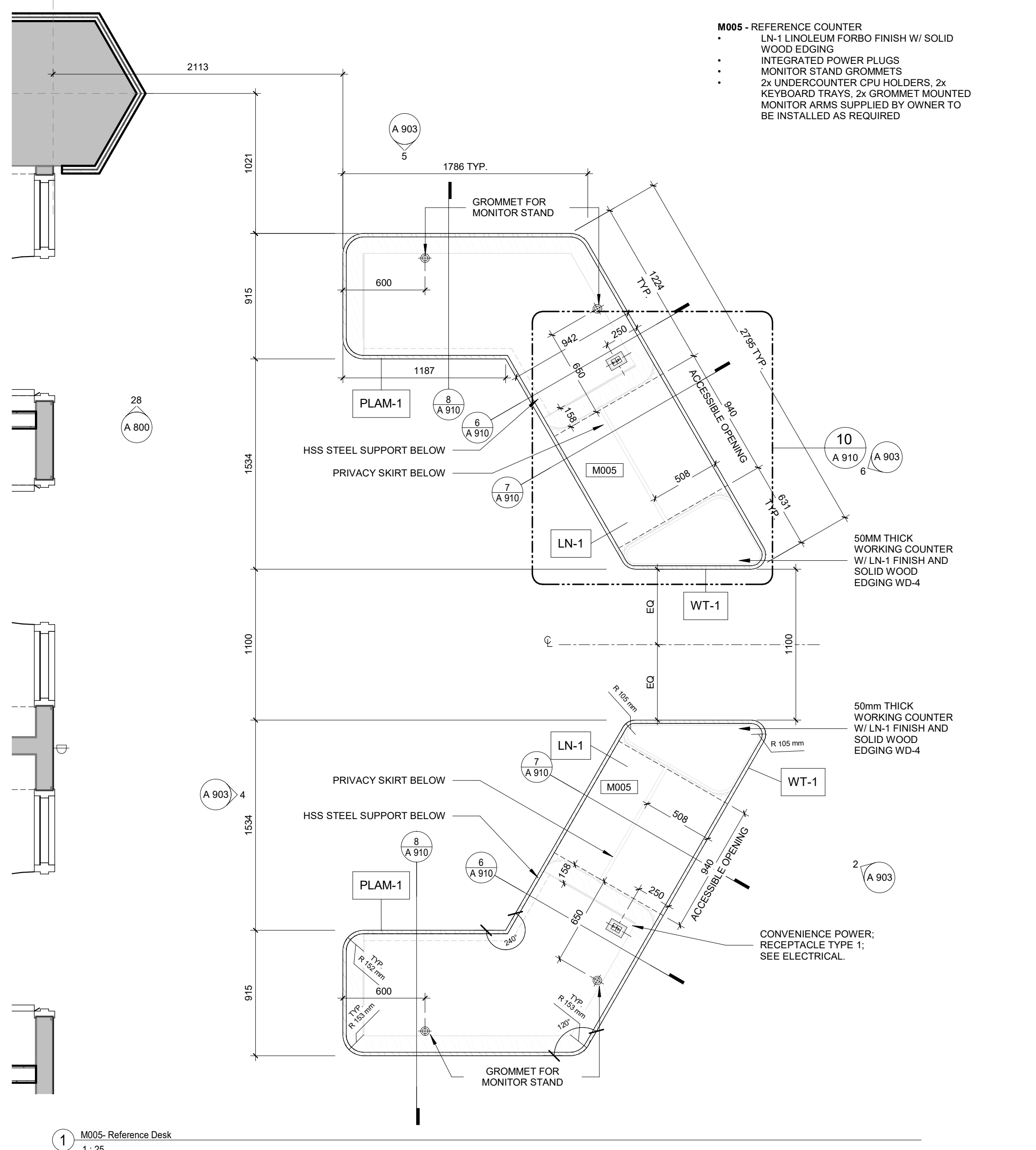


6 M005 - Elevation 5
1:25

3 M005 - Elevation 2
1:25



2 M005 - Elevation 1
1:25



1 M005 - Reference Desk
1:25

No.	Date	Issue/Revision
10	20250127	RE-ISSUED FOR CONSTRUCTION
9	20241203	ISSUED FOR CONSTRUCTION
8	20241021	ISSUED FOR ADDENDUM A-02
7	20240927	ISSUED FOR TENDER
6	20240816	ISSUED FOR BUILDING PERMIT
5	20240806	ISSUED FOR 100% CD
4	20240429	ISSUED FOR 80% CD COSTING
3	20231213	ISSUED FOR DD CLIENT REVIEW
2	20231126	ISSUED FOR DD COSTING & REVIEW
1	20231122	ISSUED FOR DD COSTING & REVIEW

No.	Date	Issue/Revision
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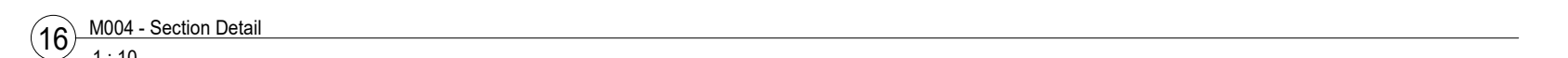
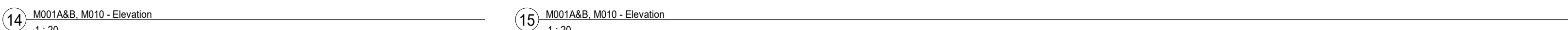
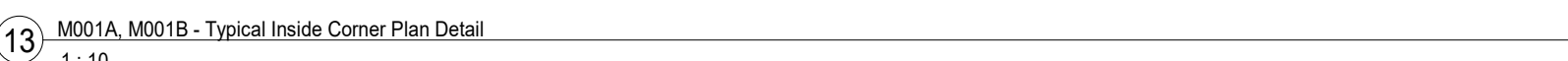
Robarts 5th Floor Renovation

Title:
Millwork Drawings - M005, M006, M008, M009, M011

Project No. 2322 Scale As indicated
Drawing No.

A 903

Prior to commencement of the Work the Contractor shall verify all drawing dimensions, datums, and levels with the Contract Documents and with the conditions on site; ascertain any discrepancies between the site and the Contract Documents, and bring these items to the attention of the Architect for clarification.



LEGRAND 1-GANG+ ADORNE
WALL PLATE + 2A T-SLOT
DUPLEX RECEPTACLE C/W
USB-A & USB-C. SEE ALSO
ELECTRICAL

Project No. 2322	Scale	As indicated
Drawing No.		

A 910